

CITY OF HUDSON  
PLAN COMMISSION  
TUESDAY, NOVEMBER 29, 2016  
CITY HALL COUNCIL CHAMBERS  
505 THIRD STREET  
7:00 P.M.

1. Call To Order

2. Discussion And Possible Action On  
October 25, 2016 meeting minutes

Documents:

[PC MINUTES \(DRAFT\) - 10-25-16.PDF](#)

3. Discussion And Possible Action On  
a certificate of compliance for an auto repair service facility, 1820 Webster Street - Shawn  
Kline/Next Generation Auto Inc

Documents:

[PC 3 11-29-16.PDF](#)

4. Discussion And Possible Action On  
request by Gerrard Companies for access through a city parcel located east of  
Carmichael Road and south of Hanley Road (extension of Maxwell Drive) - Gerrard  
Companies

Documents:

[PC 4 11-29-16.PDF](#)

5. Discussion And Possible Action On  
request by Xcel Energy to erect a 120 foot communication tower at the Xcel Energy  
Service Center, 2001 Old State Hwy 35 S - Northern States Power Wisconsin/Xcel  
Energy

Documents:

[PC 5 11-29-16.PDF](#)

6. Discussion And Possible Action On  
request for discontinuance of part of Fillmore Street and alleyways generally located east  
of 12th Street and south of Oak Street - School District of Hudson

Documents:

[PC 6 11-29-16.PDF](#)

7. Discussion And Possible Action On  
request for rezoning, 708 Second Street from R-2, Two-Family Residential District to B-3,  
Central Business District and to amend City of Hudson 2009 Comprehensive Plan land  
use designation from Single and Two-Family Residential to Downtown Commercial - Hans  
Friese/Friese Properties LLC

Documents:

[PC 7 11-29-16.PDF](#)

8. Discussion And Possible Action On preliminary plat for Heritage Greens Third Addition for six (6), one-family residential lots, north and west of Heritage Blvd - Creative Homes Inc

Documents:

[PC 8 11-29-16.PDF](#)

9. Other Business For Information Purposes Only Or For Upcoming Agenda

Dennis D. Darnold  
Secretary

Posted in lobbies & website - 11/18/16; emailed to *Star-Observer* - 11/17/16

Notice is hereby given that a majority of the City Council may be present at the aforementioned meeting of the Plan Commission to gather information about a subject over which they have decision making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N. W. 2d 408 (1993), and must be noticed as such, although the Council will not take any formal action at this meeting.

**PLAN COMMISSION**

**October 25, 2016**

**DRAFT – 10-28-16**

**Members present:** O'Connor, Morrissette, Rhoades, TeWinkel and Casanova

**Others present:** Mark Guenther, Mike Kruger, Jim Banks, Mike James, Russell Nicolet, Denny Darnold and others

The meeting was called to order by Chairman O'Connor at 7:02 p.m.

A motion was made by Casanova, seconded by Rhoades to approve the September 29, 2016 meeting minutes. **Motion carried.**

**Public hearing and consideration of an application for an amendment to the Heritage Greens planned residential development conditional use permit to change the designated land use from Limited Residential, Residential and Commercial per the July 10, 2008 amendment to One- and Two-Family Residential for Outlots 4 and 6, Heritage Market – Creative Homes.** Darnold reviewed the purpose of the public hearing.

Mike Kruger, 20 Heritage Green requested that the plan commission recommend approval of the request by Creative Homes. Kruger noted that the West Central Wisconsin Regional Planning Commission cites that in the seven county area 75% of dwellings are single-family, 18% are multiple-family residential and 7% mobile homes; the St. Croix County comprehensive plan noted that the 78% of dwellings in St. Croix County are owner occupied and 22% are renter occupied; and in the city of Hudson, per the 2010 Census, 63.4% of the dwellings are owner occupied. Kruger added that the city's comprehensive plan notes that this southeastern part of the city, Planning District 7, is guided for one-family and medium density residential and a development criteria for this area is to preserve the low density of the area. Kruger commented that he felt the proposal by Creative Homes met the criteria.

Jim Banks, 18 Heritage Green explained that the board members of the Heritage Greens two-family Homeowner's Association recommend approval of Creative Homes' request. Banks noted that the two-family product has been a successful product and provides a housing opportunity for retirees with a smaller home that has less maintenance.

Mike Jones, 20 Heritage Green noted that he has lived in the Heritage Greens neighborhood for nine years. He expressed that at the time of the change in the master plan to allow the commercial uses that multiple family as proposed was a good fit, but felt now the one- and two-family fits better with the development as it now exists. Jones asked for the approval of the proposed amendment.

Russell Nicolet, member of the Heritage Greens ARC (architectural review committee) noted he was present at the hearing in May, 2016, but this time is in favor of the proposed amendment as Creative Homes has worked with the Heritage Greens ARC. He commented that he would like to see more single-family, but recognizes that the city would like to see more multiple-family residential and that this is one of the last areas in the city to provide for multiple-family development and that this plan helps accomplish both one-and multiple family development. Nicolet reiterated that he is in favor of the proposed plan.

Darnold reviewed conditions that should be considered if a recommendation for approval is to be forwarded to the Common Council.

Mark Guenther, Creative Homes noted that they would like to be allowed to have a zero setback on the side yard with a 10' setback on the other side yard for structures in Outlot 4, particularly the two-family structures.

A motion was made by Morrissette, seconded by Casanova to recommend approval of the amendment to the conditional use permit per the application of Creative Homes with the following conditions:

- Development limited up to two (2) one-family structures and 14 two-family structures on Outlot 4 and six (6) one-family structures on Outlot 6.
- Dimensional setbacks and height restrictions for the residential units will be for one- and two- family structures on Outlot 4:
  - Minimum front yard setback – 15' and 20' to the garage
  - Minimum side yard setback – combined 10' setback with a minimum of 3' on one side setback on the other side yard
  - Minimum rear yard setback – 25'
  - Minimum side yard setback from public or private streets – 10' (20' with garage door on side street
  - Maximum building height – 35'
- Dimensional setback and height restrictions for the residential units for one-family structures on Outlot 6:
  - Minimum front yard setback – 15' and 25' to the garage
  - Minimum side yard setback – 5'
  - Minimum side yard setback from private or public streets – 15' (25' with garage door on side street)
  - Minimum rear yard setback - 30'
  - Maximum building height – 35'
- Subdivision approval

*(Note: The following are proposed amendments to Land Use Site Plan 10, Notes for Land Use Site Plan 10, Heritage Market Parcel Parameters and Heritage Market Defined Land Use Parcels as approved in July 2008 or subsequently amended)*

- Cumulative commercial area – 2.5 acres and 27,800 sq. ft. of commercial building area
  - Areas previously noted as parcels P4 and P5 will be limited as such:
    - Two (2) single-family and 14 two-family structures (30 total dwelling units)

- Land use restrictions noted in previous conditional use permit standards to be amended to:
  - Areas previously noted as parcels P6 and P7 will be limited as such:
    - 32 multiple family senior dwelling units and six (6) one-family structures
    - Total housing units in the Heritage Market area will be limited to 102 total units
    - P4 and P5 will be limited to one- and two-family residential
    - P6 and P7 will be limited to the existing 32 unit senior multiple family development and six (6) one-family residential units
- General use classifications:
  - One-family residential – P1, P2, part of P6, P7 – P11, 9.91 acres (total - 36 one-family residential units)
  - One- and two-family residential – P4 and P5, 3.82 acres (2 one-family and 28 two-family units / 30 total units)
  - Residential – Part of P6, 0.892 acres (total- 32 senior multiple family residential units)
  - Limited Residential – P3, 0.684 acres (15 supportive / disabilities multiple family residential units)
  - Commercial – P12, 2.5 acres (27,800 sq. ft. of building area)

**Motion carried.**

**Other business for discussion purposes only or placement on future agendas.** Darnold noted the next plan commission meeting is tentatively scheduled for Tuesday, November 22, 7:00 p.m.

A motion was made by Casanova, seconded by TeWinkel to adjourn. **Motion carried.** 7:21 p.m.

Respectfully submitted,  
Dennis Darnold, Secretary

11/2/2016

To whom this may concern,

My name is Shawn Kline and I am writing to request a Certificate of Compliance for the building located at 1820 Webster St. in Hudson. I currently own an Automotive Repair Shop in Baldwin with my business partner Jeremy Austrum. We opened June of 2011 at 1250 10<sup>th</sup> Ave. in Baldwin after starting the business from nothing. Today we are located at 910 Hillcrest St. in Baldwin where we purchased the building from the previous repair shop in 2014. We are looking to expand our business into Hudson and hiring more employees to work at that location. We would be once again starting from scratch and providing the same great service as we do at our Baldwin location. We feel we would be a great benefit to the Hudson community. Not only will it create more jobs, but we enjoy giving back to the community we are currently in and would do the same for the Hudson community.

We are interested in the building on 1820 Webster St. because we see a lot of potential in it. Not only does it give us room to grow and have a great location, but it is something we could be proud to own and make it look nice again. A little elbow grease goes a long way. The facility is not currently set up for automotive repair, but has great potential for it. Up front just needs some cosmetic work while out back needs hoists and equipment. The back is already plumbed in for air and already has an oil/water separator as it was previously used for boat motor repair (or something along those lines) as I have been told. There would not be a whole lot of work needed to get it up and going.

I realize parking may be an issue in the future as well. We don't predict parking issues right away, but it is something that will need to be addressed in the future. After taking with Brad Peterson who owns the building and land to the West (1810 Webster St.), he has agreed to talk about our options about buying some of his land for our parking lot expansion. I know there will be a lot more to it than just that, but it may be an option down the road for us to solve any parking issues.

I know there is a cemetery to the South of the building and one of the concerns is the appearance of the business and property. As I said before, we take pride in our business and the appearance of it shows. I do not see any issues with the exterior of the building not being kept up to the standards of the city.

I hope you can see what our intentions are in the purchase and use of the building as well as see how it will benefit the community. If there are any questions please feel free to contact myself or Jeremy Austrum.

Shawn Kline

CFO

Next Generation Auto Inc.

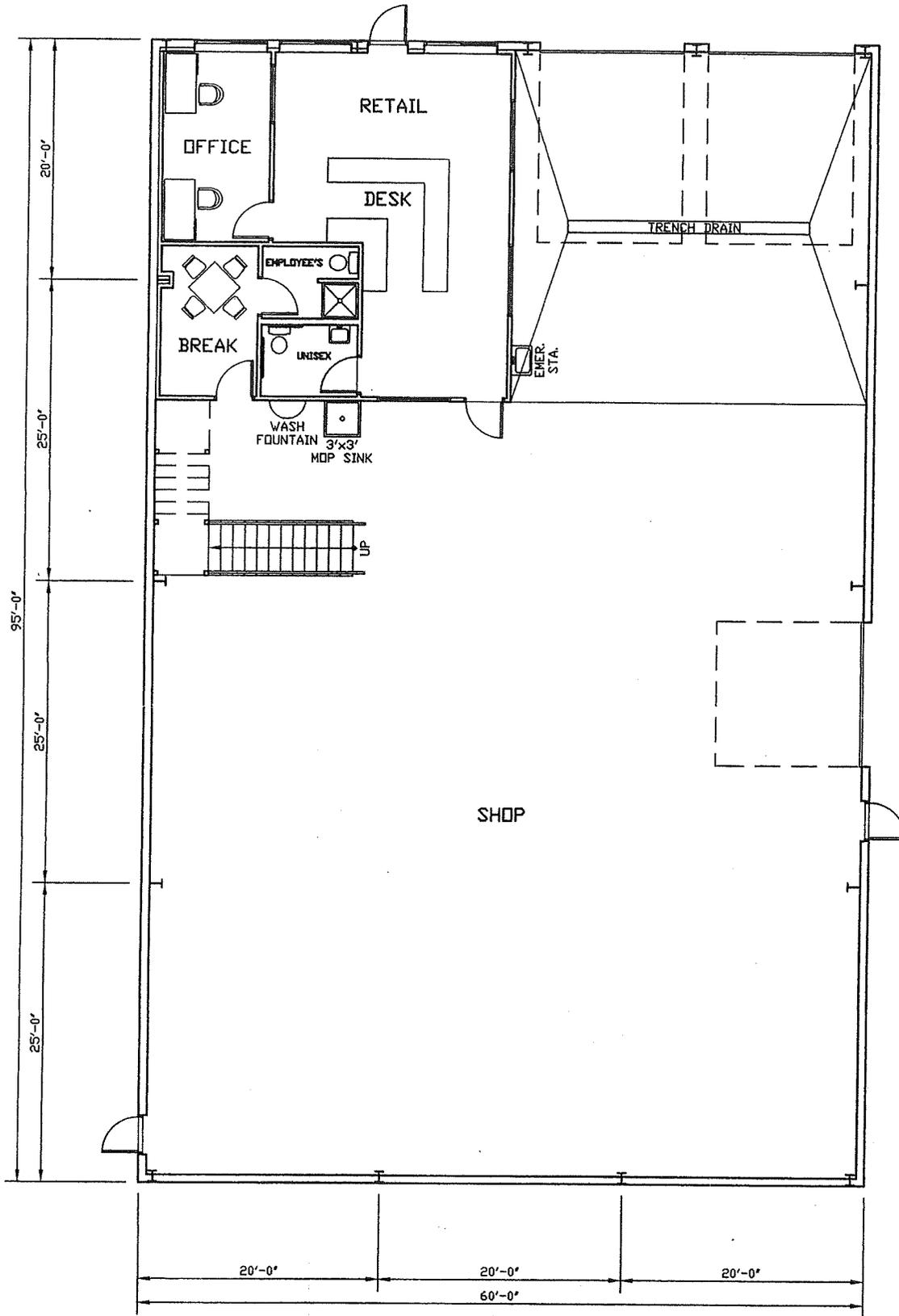
910 Hillcrest St.

Baldwin, WI 54002

715-688-2166

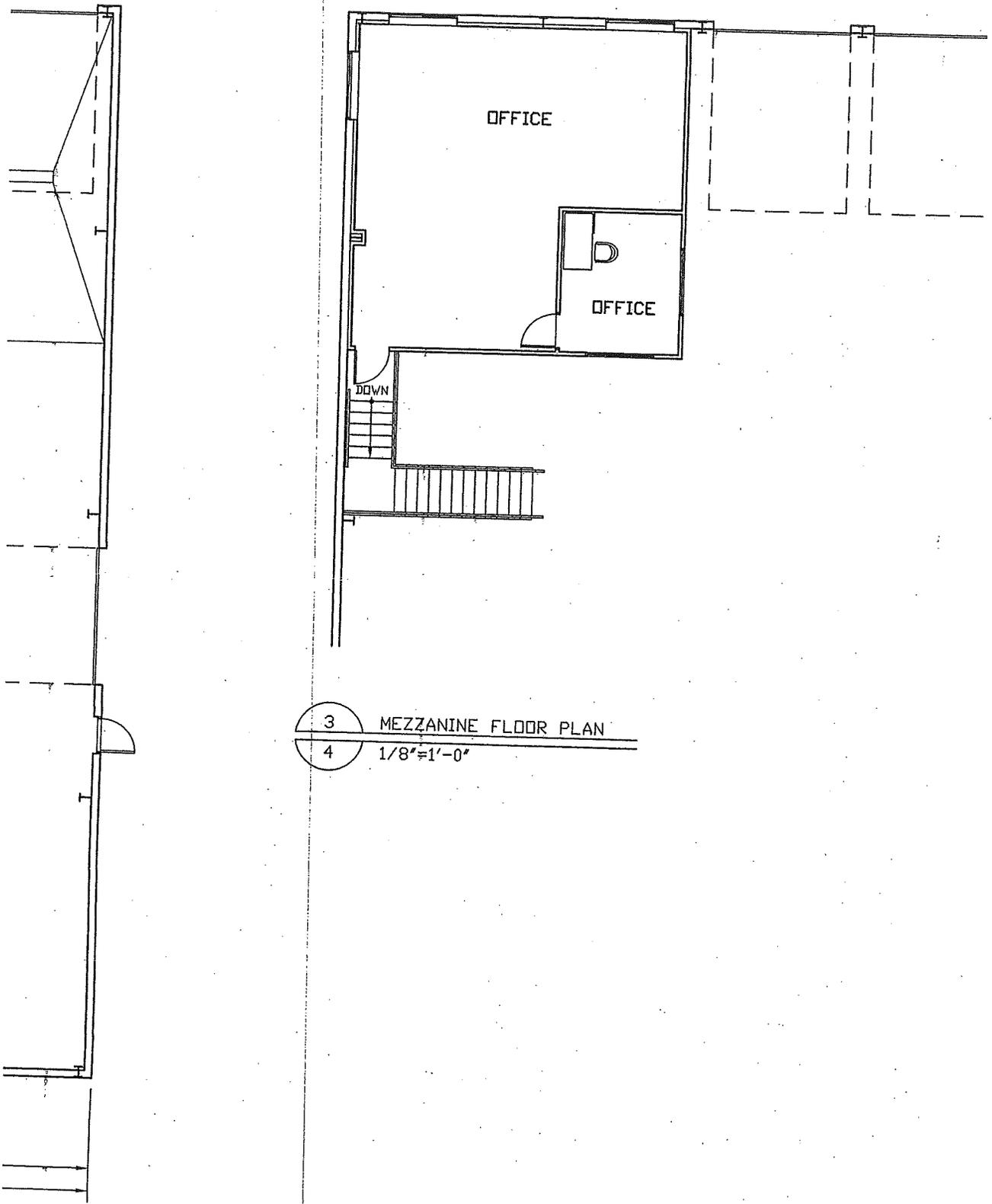
skline@next-generation-auto.com





2 MAIN LEVEL FLOOR PLAN  
 4 1/8"=1'-0"





3 MEZZANINE FLOOR PLAN  
4 1/8"=1'-0"



SOBLES TOWN



City of Hudson

MAXWELL DR

LEICHLIN

WOMETRY BLVD

FORGLOVE CIR

FORGLOVE CIR

WILLIAM DR

AZALEA BAY

ROSEMARY CIR

HEMLOCK DR

CURRENT DR

IRIS BAY

VALLEY VIEW TR

SALVIA LN

HOLLY CRW

ALBERT ST

CAT BAL WAY

TRISTLE WAY

LALEAH DR

LUPINE DR

SHEPHERD DR

BRIDGEMAN ST

GATWAY

15

15

ORFIRE RD



DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.



**NOTES:**

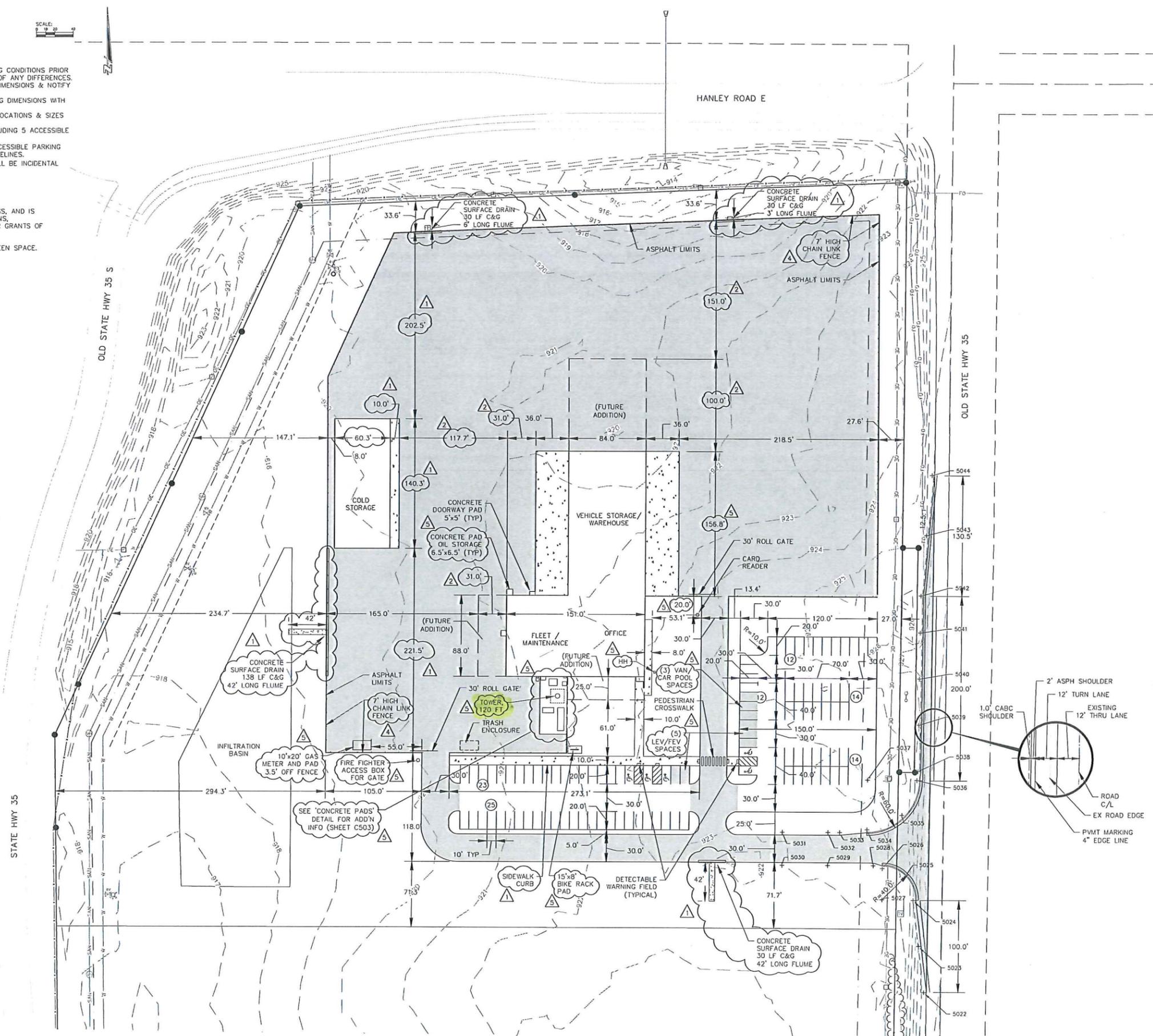
- SITE IS ZONED INDUSTRIAL.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- THE CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS & NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS & SIZES OF ALL EXISTING UTILITIES.
- 100 TOTAL PARKING STALLS AT 10'x20' INCLUDING 5 ACCESSIBLE STALLS INCLUDED IN THE TOTAL COUNT.
- INSTALL ACCESSIBLE PARKING SIGNS AT ACCESSIBLE PARKING STALLS AS PER STATE & FEDERAL ADA GUIDELINES.
- 4" WIDE YELLOW PARKING LOT STRIPING SHALL BE INCIDENTAL TO ASPHALT PRICE.

**SITE AREA:**

- PARCEL CONTAINS 15.1 ACRES, MORE OR LESS, AND IS SUBJECT TO ANY RESTRICTIONS, RESERVATIONS, RIGHT-OF-WAY, EASEMENTS, AND ANY PRIOR GRANTS OF RECORD OR FACT.
- SITE RATIO IS 55% IMPERVIOUS AND 45% GREEN SPACE.

**LEGEND**

- ☒ FIRE HYDRANT
- ☒ WATER VALVE
- ☒ SANITARY MANHOLE
- ☒ STORM INLET
- ☒ SIGN
- ☒ POWER POLE
- ☒ CONTROL POINT
- ☒ PROPERTY IRON
- ☒ BARBED WIRE FENCE
- ☒ CHAIN LINK FENCE
- ☒ LIGHT POLE
- ☒ DECIDUOUS TREE
- ☒ ACCESSIBLE STALL
- ☐ 3-INCH ASPHALTIC CONCRETE
- ☐ 6-INCH ASPHALTIC CONCRETE
- ☐ CONCRETE PAVEMENT / SIDEWALK
- ⑰ DENOTES NUMBER OF PARKING STALLS



**XCEL ENERGY  
HUDSON SERVICE CENTER  
HUDSON, WISCONSIN  
SITE PLAN**

**Xcel Energy**

CONSTRUCTION PROJECTS  
10000 W. WISCONSIN AVENUE, SUITE 100  
MINNEAPOLIS, MN 55426  
TEL: 612.345.4321  
WWW.XCELENERGY.COM

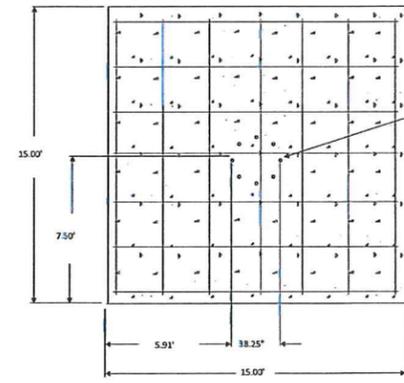
**Cedar Corporation**

200 Main Street  
Hudson, Wisconsin 54601  
TEL: 715.535.1234  
WWW.CEDARCORP.COM

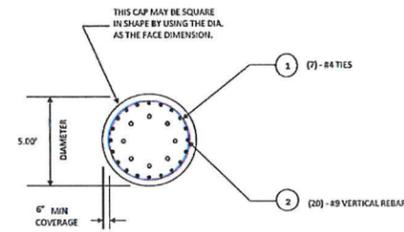
**RECEIVED**  
NOV 08 2016  
BY: \_\_\_\_\_

NO.	DATE	DESCRIPTION	BY
1	08/22/16	ADDN #1	
2	08/24/16	REVISION #2	
3	09/16/16	REVISION #3	
4	10/05/16	REVISION #4	
5	10/28/16	REVISION #5	

**C120**



SECTION A-A  
No Scale

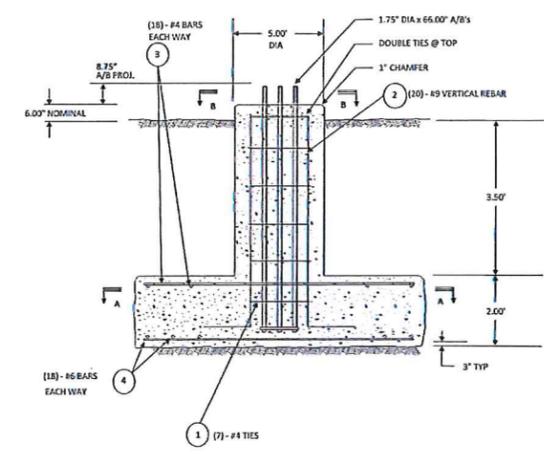


SECTION B-B  
No Scale

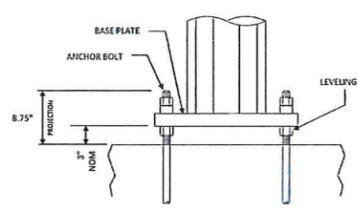
**GENERAL NOTES: SLAB FOUNDATION**

- Prior to excavation, check the area for underground facilities.
- All reinforcing shall be deformed bars conforming to ASTM A615 Grade 60 (60,000 psi min. yield) and shall be provided by the foundation contractor.
- All concrete shall have a minimum compressive strength of 4000 psi @ 28 days. The requirement for the concrete shall be as given in the ACI Building Code Requirements for Reinforced Concrete, ACI 318, the latest edition.
- Trowel top of foundation smooth.
- Concrete shall be placed against undisturbed soil to the depth indicated on the foundation drawing. The portion above grade shall be formed. If an area is excavated beyond the limits shown, this volume shall be filled with concrete or formed. After the forms are removed, the excess excavation shall be replaced and compacted.
- Ground water was not encountered below grade during boring.
- Foundation design based on vert. bearing pressure of 4000 psf.
- Concrete is assumed to weigh 150 pcf.
- Estimated concrete volume = 19.58 cubic yards total.
- Design based on the following loads from installation drawing for order No. 344486.  
Factored Moment = 765 FT-KIPS      Overturning Safety Factor = 1.23  
Factored Download = 7.7 KIPS      Max. Toe Bearing Pressure = 2.20 ksf  
Factored Shear = 11.5 KIPS
- Backfill should be compacted to a density of 100 pcf.
- Anchor bolts to be ASTM A615, Gr. 75 ksf.
- Reference: PSI PROJECT NO. 0055632 DATED 06/17/2016

**Note: Preliminary Design - Not for Construction**



ELEVATION  
No Scale



**ANCHOR BOLT INSTALLATION  
N.T.S.**  
 EXTREME CARE SHOULD BE TAKEN TO ASSURE THAT ALL LEVELING NUTS ARE LEVEL WITH RESPECT TO EACH OTHER PRIOR TO ERECTION OF THE STRUCTURE

Item	Type	Quantity	Unit	Weight (lbs)	Qty
1	C	#4	EQUAL	59	7
2	B	#9		476	29
3	A	#4	10.24 in	349	36
4	A	#6		784	36
TOTAL STEEL WEIGHT FOR COMPLETE FOUNDATION INSTALLATION					1669

Grade 60 Rebar	Size	4dL/B	Wt/ft	6dH (in)	4" dia	4" dia
#3	11-97203	0.38	2.25	2.25	1.50	
#4	11-97204	0.47	3.00	3.00	2.00	
#5	11-97205	1.04	3.75	3.75	2.50	
#6	11-97206	1.50	4.50	4.50	3.00	
#7	11-97207	2.04	5.25	5.25	3.50	
#8	11-97208	2.47	6.00	6.00	4.00	
#9	11-97209	3.40	6.77	6.77	4.50	
#10	11-97210	4.30	7.52	7.52	5.00	
#11	11-97211	5.31	8.46	8.46	5.50	

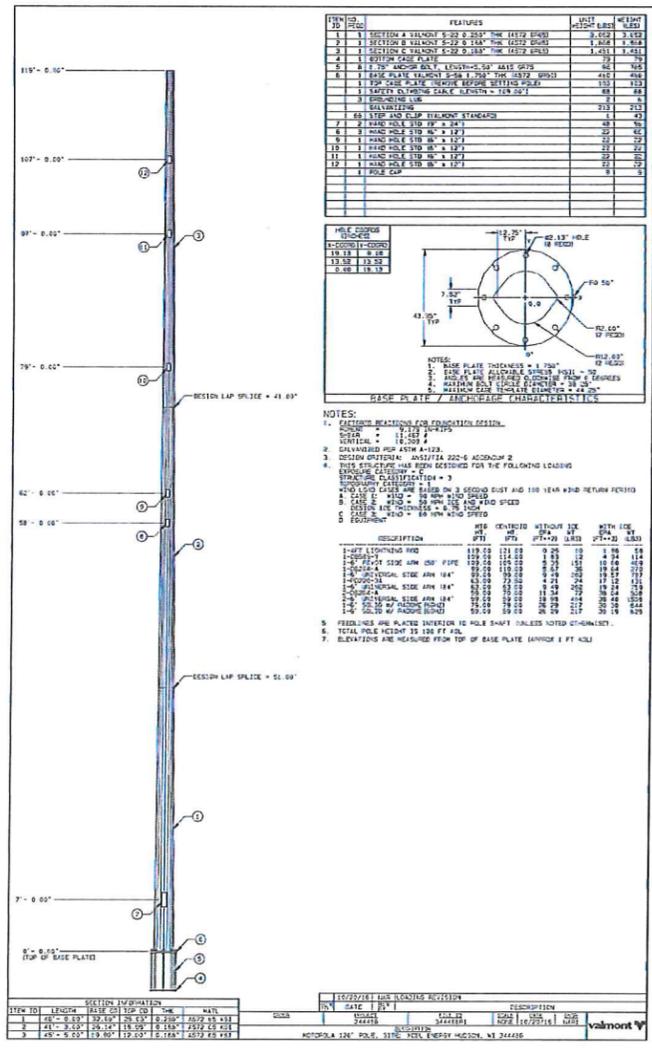
  

Rebar Lap Splice	Rebar Size	Rebar Grade	Specified Concrete Strength	Vert. Ties	Bottom Hook	Top Hook
#3	60	4000 psi	13	15	15	21
#4	60	4000 psi	18	20	20	29
#5	60	4000 psi	22	26	26	36
#6	60	4000 psi	26	33	33	46
#7	60	4000 psi	30	40	40	54
#8	60	4000 psi	33	48	48	63
#9	60	4000 psi	41	59	59	82
#10	60	4000 psi	49	74	74	104
#11	60	4000 psi	58	91	91	132
#11	60	4000 psi	71	116	116	163

Rev	Description	Date	By/Chk

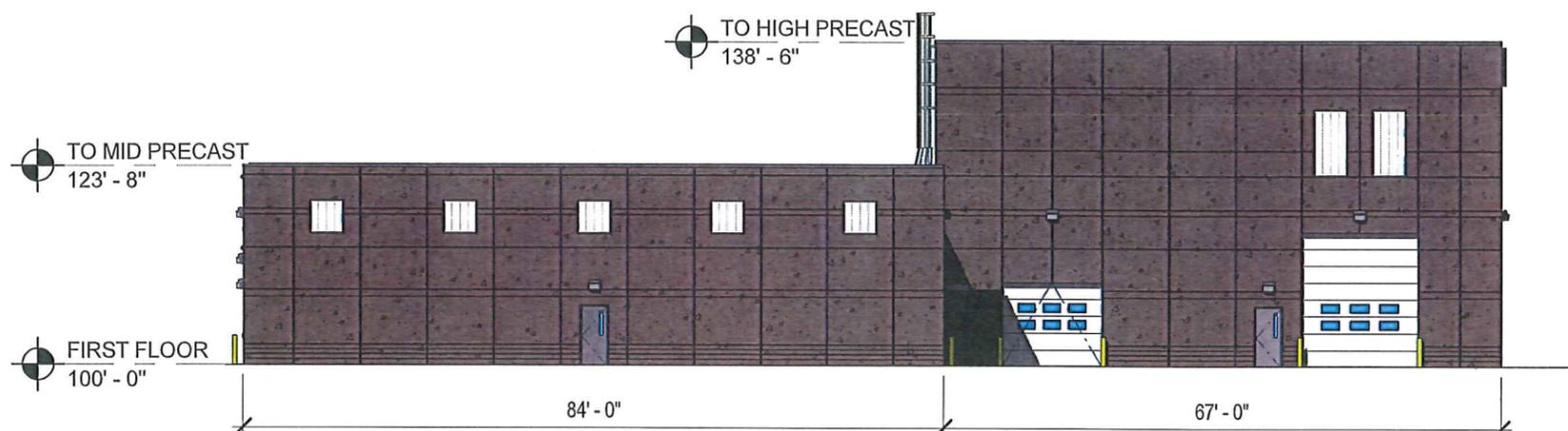
  

3175 25TH STREET SEASIDE, OR 97132	3175 25TH STREET SEASIDE, OR 97132
MAINTENANCE BLDG	MAINTENANCE BLDG
PROJECT NO. 2009	PROJECT NO. 2009
Customer: MOTOROLA	Customer: MOTOROLA
Date: 10/20/16	Date: 10/20/16
Site: XCEL ENERGY HUDSON	Site: XCEL ENERGY HUDSON
ISD: 344486	ISD: 344486
Sheet: 8-344870	Sheet: 8-344870

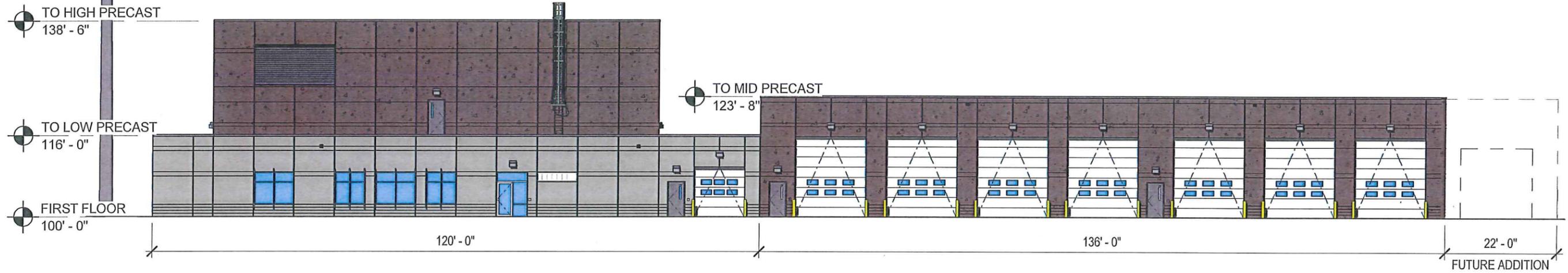


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161	1	SECTION FE	1.50
162	1	SECTION FF	1.50
163	1	SECTION FG	1.50
164	1	SECTION FH	1.50
165	1	SECTION FI	1.50
166	1	SECTION FJ	1.50
167	1	SECTION FK	1.50
168	1	SECTION FL	1.50
169	1	SECTION FM	1.50
170	1	SECTION FN	1.50
171	1	SECTION FO	1.50
172	1	SECTION FP	1.50
173	1	SECTION FQ	1.50
174	1	SECTION FR	1.50
175	1	SECTION FS	1.50
176	1	SECTION FT	1.50
177	1	SECTION FU	1.50
178	1	SECTION FV	1.50
179	1	SECTION FW	1.50
180	1	SECTION FX	1.50
181	1	SECTION FY	1.50
182	1	SECTION FZ	1.50
183	1	SECTION GA	1.50
184	1	SECTION GB	1.50
185	1	SECTION GC	1.50
186	1	SECTION GD	1.50
187	1	SECTION GE	1.50
188	1	SECTION GF	1.50
189	1	SECTION GG	1.50
190	1	SECTION GH	1.50
191	1	SECTION GI	1.50
192	1	SECTION GJ	1.50
193	1	SECTION GK	1.50
194	1	SECTION GL	1.50
195	1	SECTION GM	1.50
196	1	SECTION GN	1.50
197	1	SECTION GO	1.50
198	1	SECTION GP	1.50
199	1	SECTION GQ	1.50
200	1	SECTION GR	1.50
201	1	SECTION GS	1.50
202	1	SECTION GT	1.50
203	1	SECTION GU	1.50
204	1	SECTION GV	1.50
205	1	SECTION GW	1.50
206	1	SECTION GX	1.50
207	1	SECTION GY	1.50
208	1	SECTION GZ	1.50
209	1	SECTION HA	1.50
210	1	SECTION HB	1.50
211	1	SECTION HC	1.50
212	1	SECTION HD	1.50
213	1	SECTION HE	1.50
214	1	SECTION HF	1.50
215	1	SECTION HG	1.50
216	1	SECTION HH	1.50
217	1	SECTION HI	1.50
218	1	SECTION HJ	1.50
219	1	SECTION HK	1.50
220	1	SECTION HL	1.50
221	1	SECTION HM	1.50
222	1	SECTION HN	1.50
223	1	SECTION HO	1.50
224	1	SECTION HP	1.50
225	1	SECTION HQ	1.50
226	1	SECTION HR	1.50
227	1	SECTION HS	1.50
228	1	SECTION HT	1.50
229	1	SECTION HU	1.50
230	1	SECTION HV	1.50
231	1	SECTION HW	1.50
232	1	SECTION HX	1.50
233	1	SECTION HY	1.50
234	1	SECTION HZ	1.50
235	1	SECTION IA	1.50
236	1	SECTION IB	1.50
237	1	SECTION IC	1.50
238	1	SECTION ID	1.50
239	1	SECTION IE	1.50
240	1	SECTION IF	1.50
241	1	SECTION IG	1.50
242	1	SECTION IH	1.50
243	1	SECTION II	1.50
244	1	SECTION IJ	1.50
245	1	SECTION IK	1.50
246	1	SECTION IL	1.50
247	1	SECTION IM	1.50
248	1	SECTION IN	1.50
249	1	SECTION IO	1.50
250	1	SECTION IP	1.50
251	1	SECTION IQ	1.50
252	1	SECTION IR	

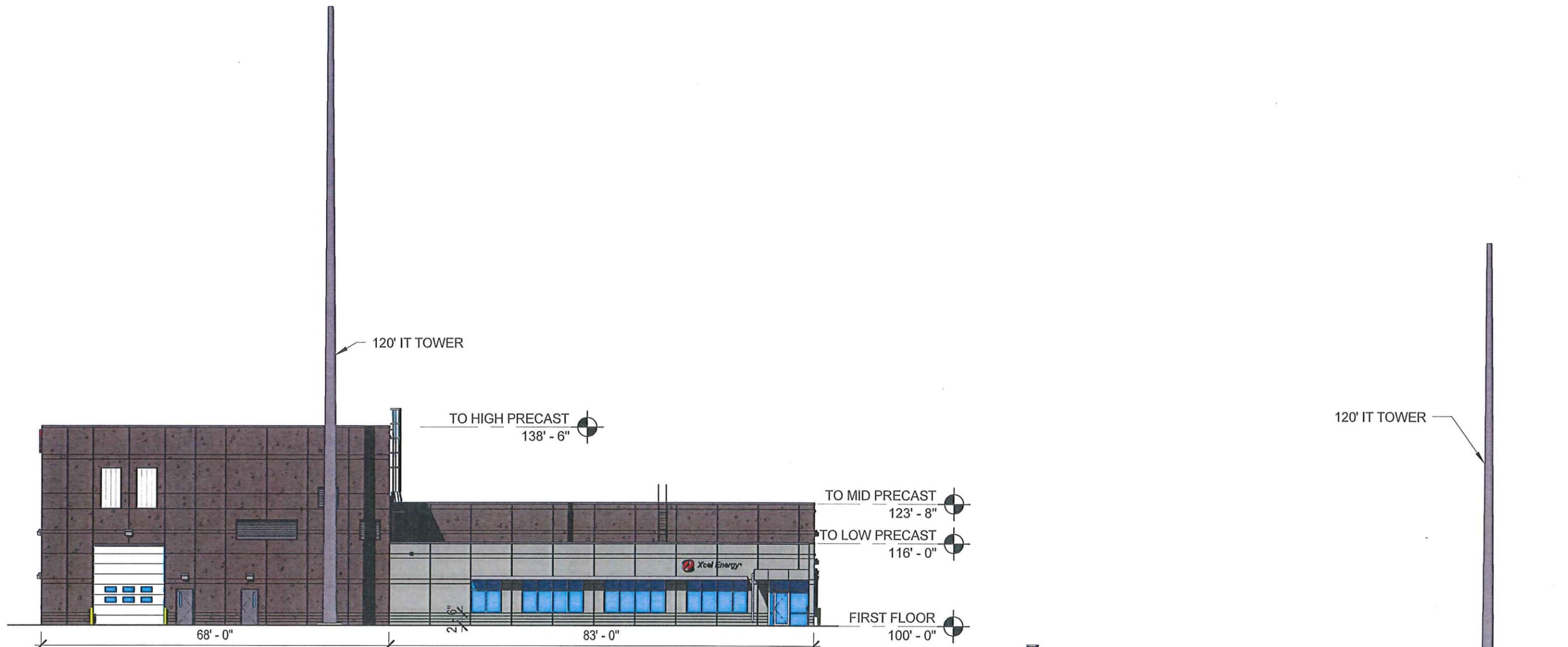
120' IT TOWER



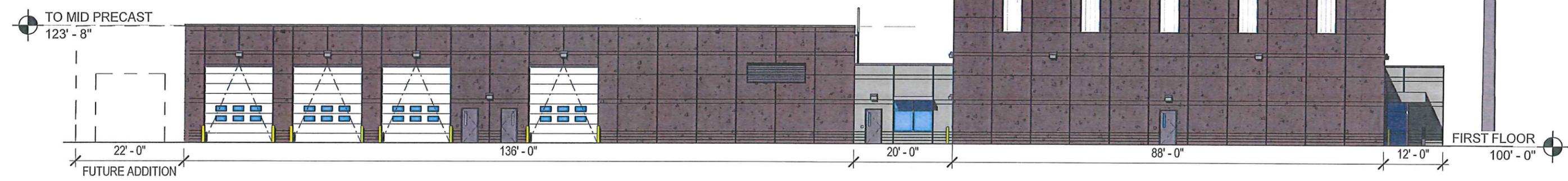
1 NORTH ELEVATION  
1" = 20'-0"



2 EAST ELEVATION  
1" = 20'-0"

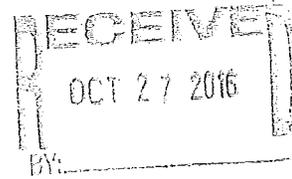


**1** SOUTH ELEVATION  
1" = 20'-0"



**2** WEST ELEVATION  
1" = 20'-0"

October 25, 2016



City of Hudson  
Attn: Dennis Darnold  
503 3rd Street  
Hudson, WI 54016

Dear Mr. Darnold,

Hudson Schools recently purchased property off of the corner of 12th and Oak Street in Hudson, Wisconsin to support of the development of the High School Site. The attached map, Exhibit A, highlights the areas that we would like the City of Hudson to vacate that includes a portion of Fillmore Street and the alley that is adjacent to Fillmore Street

We would appreciate a response with the appropriate process measures and timeline that would be needed to vacate the area highlighted in Exhibit A.

If you would like to set up a time to meet or a conference call to discuss further details or information that is needed, please feel free to contact me at 715-377-3702 or [ouellette@hudson.k12.wi.us](mailto:ouellette@hudson.k12.wi.us).

Sincerely,

A handwritten signature in black ink, appearing to read "Nick Ouellette".

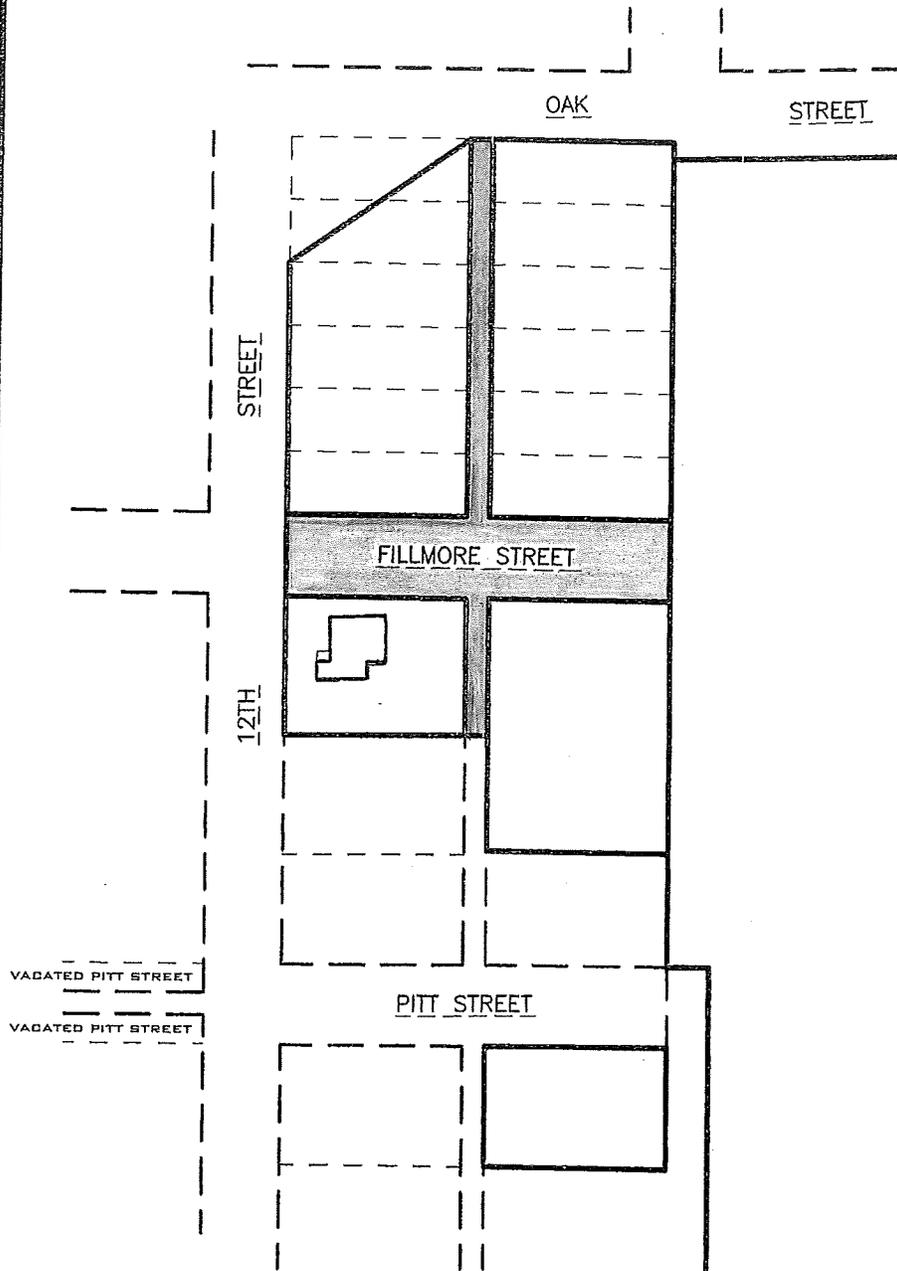
Nick Ouellette, PhD.  
Superintendent  
Hudson School District  
Enclosure



EXHIBIT A

STREET VACATION

RECEIVED  
OCT 27 2016



**NOTE:**

**SHADED AREA PROPOSED  
TO BE VACATED**



Civil Engineering  
Land Surveying  
Landscape Architecture  
Donald J. Buza, PLS #2338  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (Ph) 715.344.9922 (Fax)

THIS INSTRUMENT WAS DRAFTED BY DONALD BUZA  
AND DRAWN BY TRAVIS OLDS

FIELD BOOK \_\_\_ PAGE \_\_\_  
JOB # 16.468

SHEET 1 OF 1 SHEETS

CITY OF HUDSON

APPLICATION TO REZONE PROPERTY.



DATE 11/07/2016

I (We), the undersigned, do hereby respectfully request that the Common Council see fit to rezone the property located at:

708 Second Street, Hudson, WI 54006

and legally described as: Buona Vista ADD L 7 EXC 10 FT N SIDE OF SD LOT 8 EXC 8 FT OF E END OF SD LOT 9 ALSO R/W TO DRIVEWAY TO ST BLK 10

Parcel Identification No(s): 236-0217-00-000

FROM:

TO:

- List of zoning codes from Agriculture Residential to Planned Industrial District, with checkmarks for R-1, R-2, B-3, and I-1.

void

Map of area to be included with application.

APPLICATION TO REZONE PROPERTY

Page 2

Reason(s) for request:

Build a new building to accommodate our business Ciranda Inc.

I (We) certify that the \$200.00 nonreimbursable filing fee and the \$250.00 review deposit has been paid.

*[Signature]*  
Property Owner (Signature)

HAAS FRIESE  
Property Owner (Written)

Property Owner (Signature)

FRIESE PROPERTIES LLC  
Property Owner (Written)

1106 Riverside DR N  
Street Address

221 VINE STREET  
Street Address

HUDSON, WI 54016  
City/State/Zip

HUDSON, WI 54016  
City/State/Zip

612-308 9031  
Phone No./Fax No./e-mail

715-386-1737  
Phone No./Fax No./e-mail

Contact person if other than property owner:

Street Address

City/State/Zip

Phone No./Fax No./e-mail

Please note that all zoning amendments require a public hearing. The Common Council will set the public hearing date that can take place after notice of such hearing is published twice in the Star-Observer, and the Plan Commission has made a recommendation.

Public hearings normally take place before a regular meeting of the Common Council 4 to 5 weeks after the meeting when the initial application was submitted. You and surrounding property owners as required will receive a notice of the public hearing in the mail. If the Common Council reacts favorably to this request, the ordinance becomes effective the day after publication.

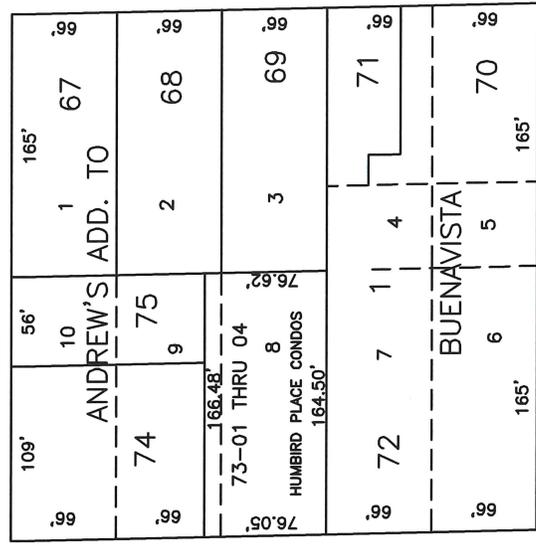
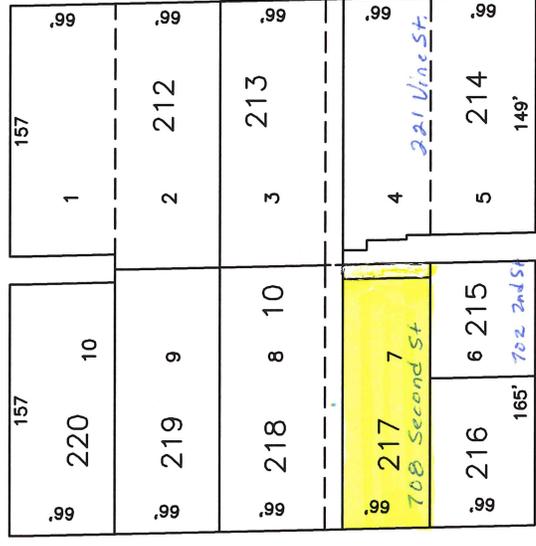
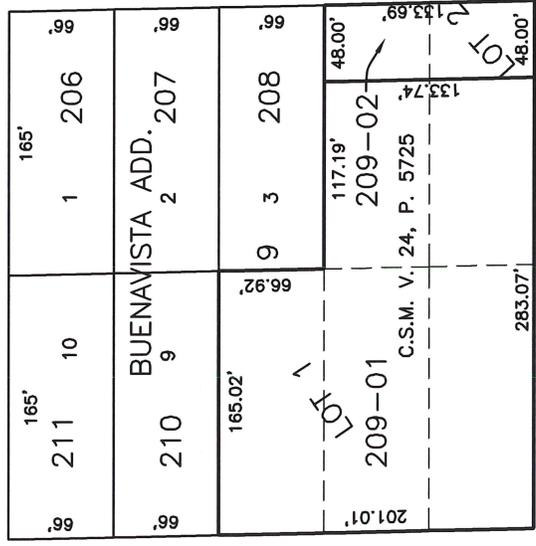
Receipt No. 57490

Dated: 11/17/2016

708 Second Street  
 REQUEST FOR REZONING  
 From R-2, Two-family Residential District  
 to B-3, Central Business District

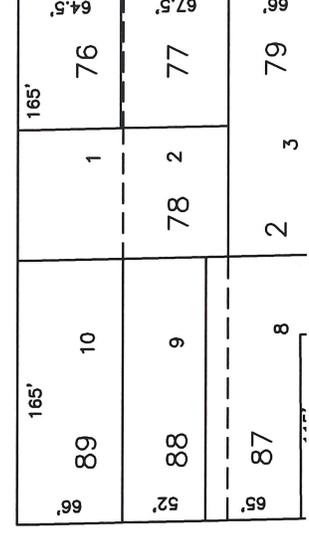
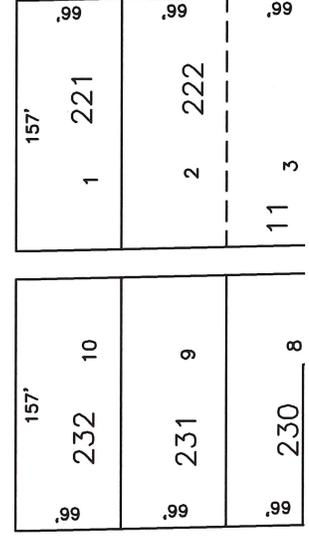
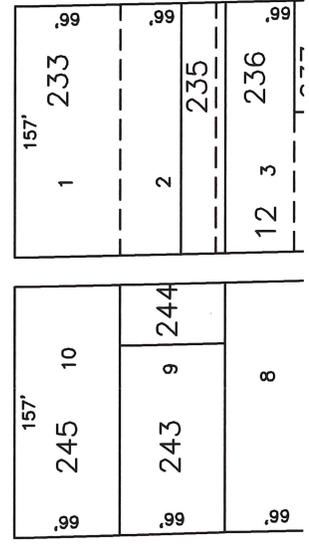


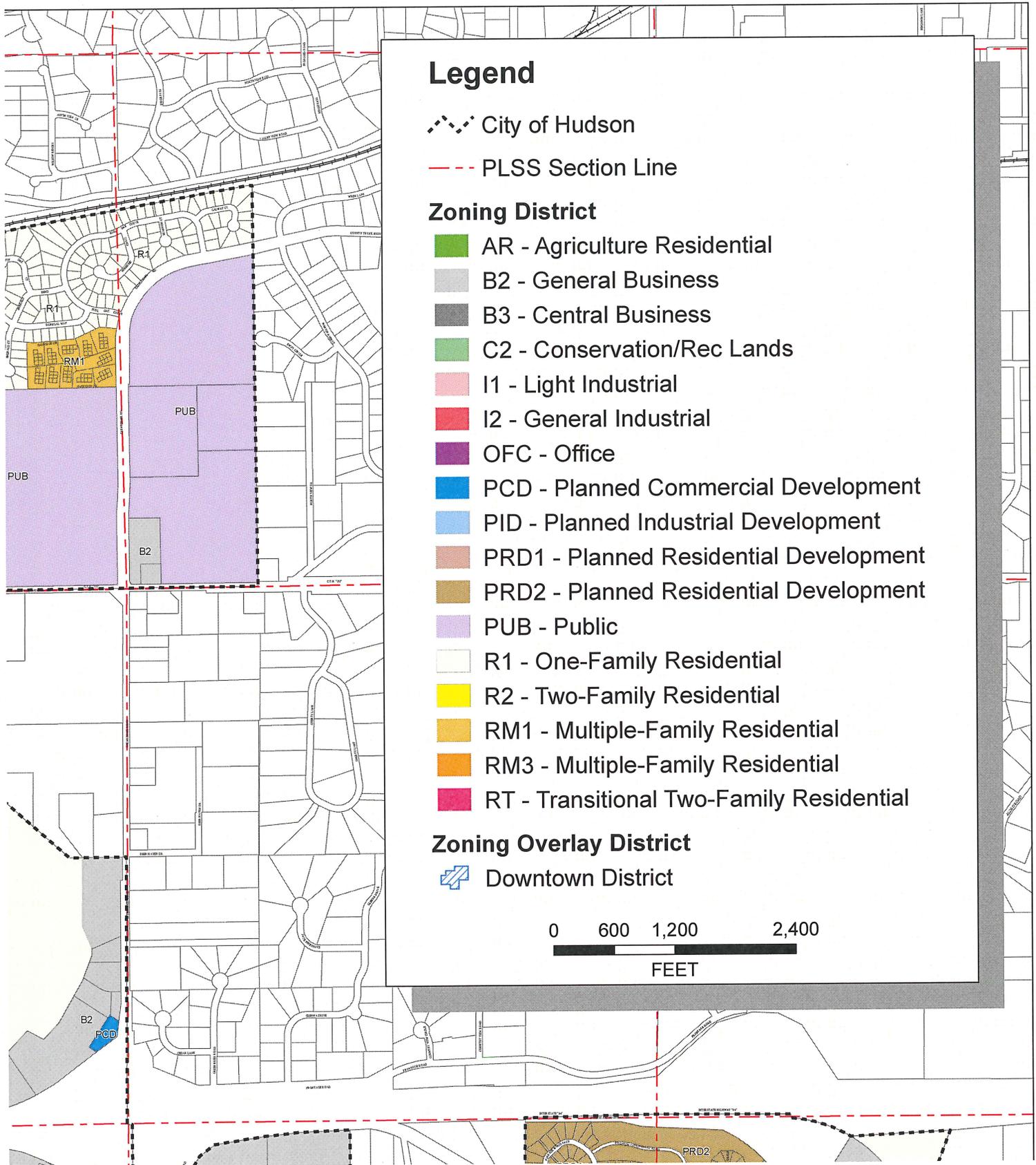
ELM ST.



THIRD STREET

VINE ST.





## Legend

City of Hudson

PLSS Section Line

### Zoning District

AR - Agriculture Residential

B2 - General Business

B3 - Central Business

C2 - Conservation/Rec Lands

I1 - Light Industrial

I2 - General Industrial

OFC - Office

PCD - Planned Commercial Development

PID - Planned Industrial Development

PRD1 - Planned Residential Development

PRD2 - Planned Residential Development

PUB - Public

R1 - One-Family Residential

R2 - Two-Family Residential

RM1 - Multiple-Family Residential

RM3 - Multiple-Family Residential

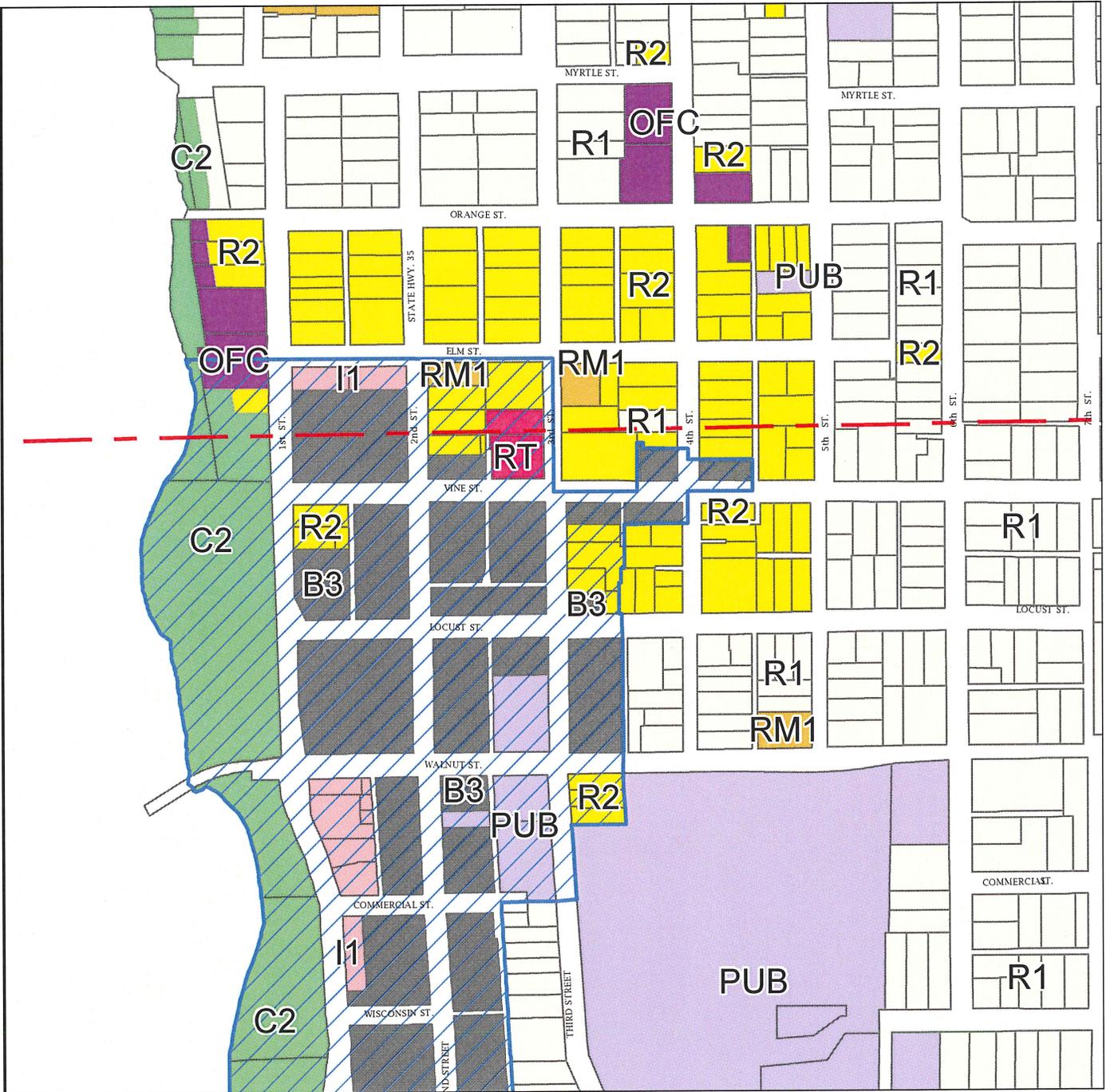
RT - Transitional Two-Family Residential

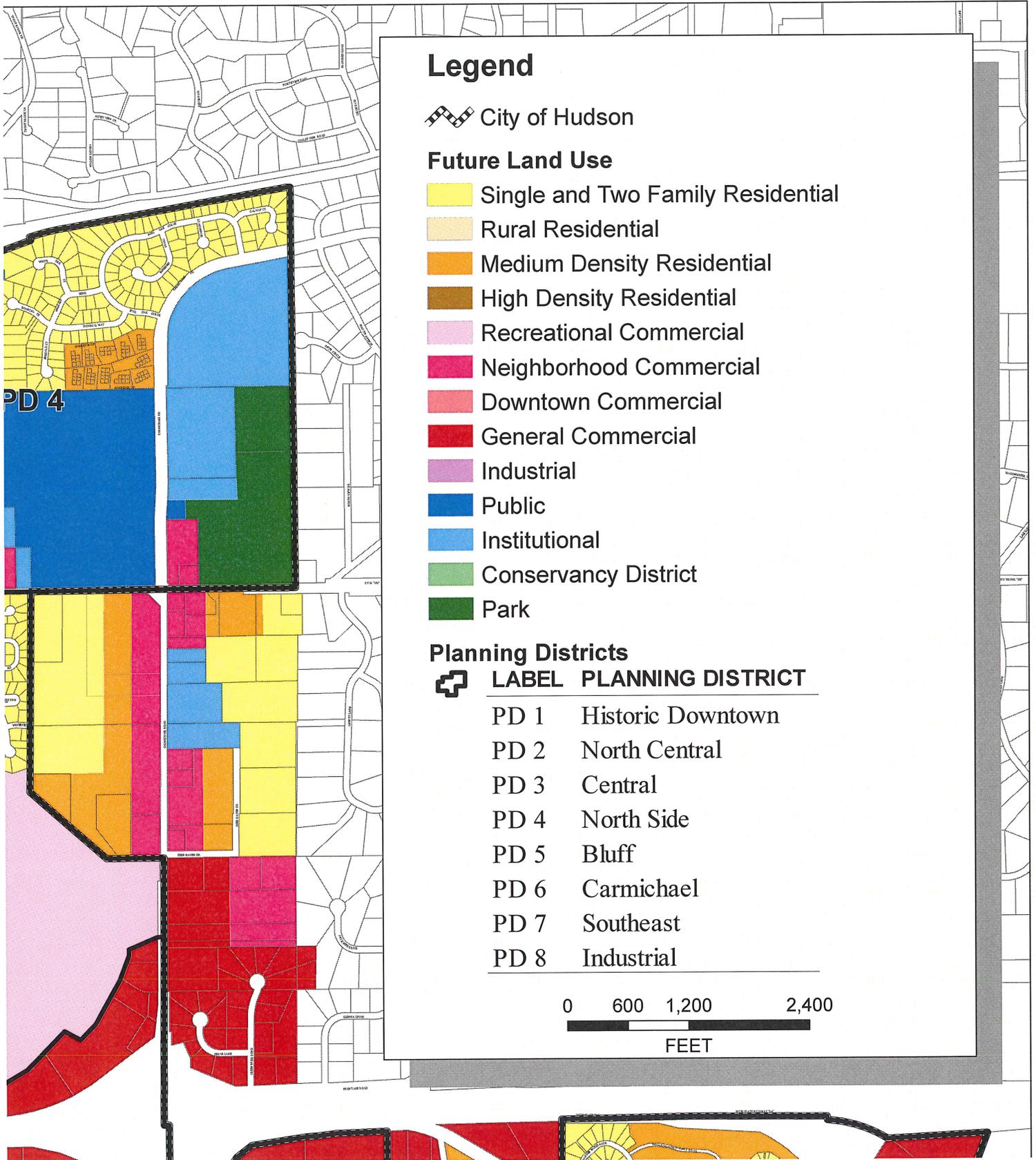
### Zoning Overlay District

Downtown District

0 600 1,200 2,400

FEET





## Legend

 City of Hudson

### Future Land Use

-  Single and Two Family Residential
-  Rural Residential
-  Medium Density Residential
-  High Density Residential
-  Recreational Commercial
-  Neighborhood Commercial
-  Downtown Commercial
-  General Commercial
-  Industrial
-  Public
-  Institutional
-  Conservancy District
-  Park

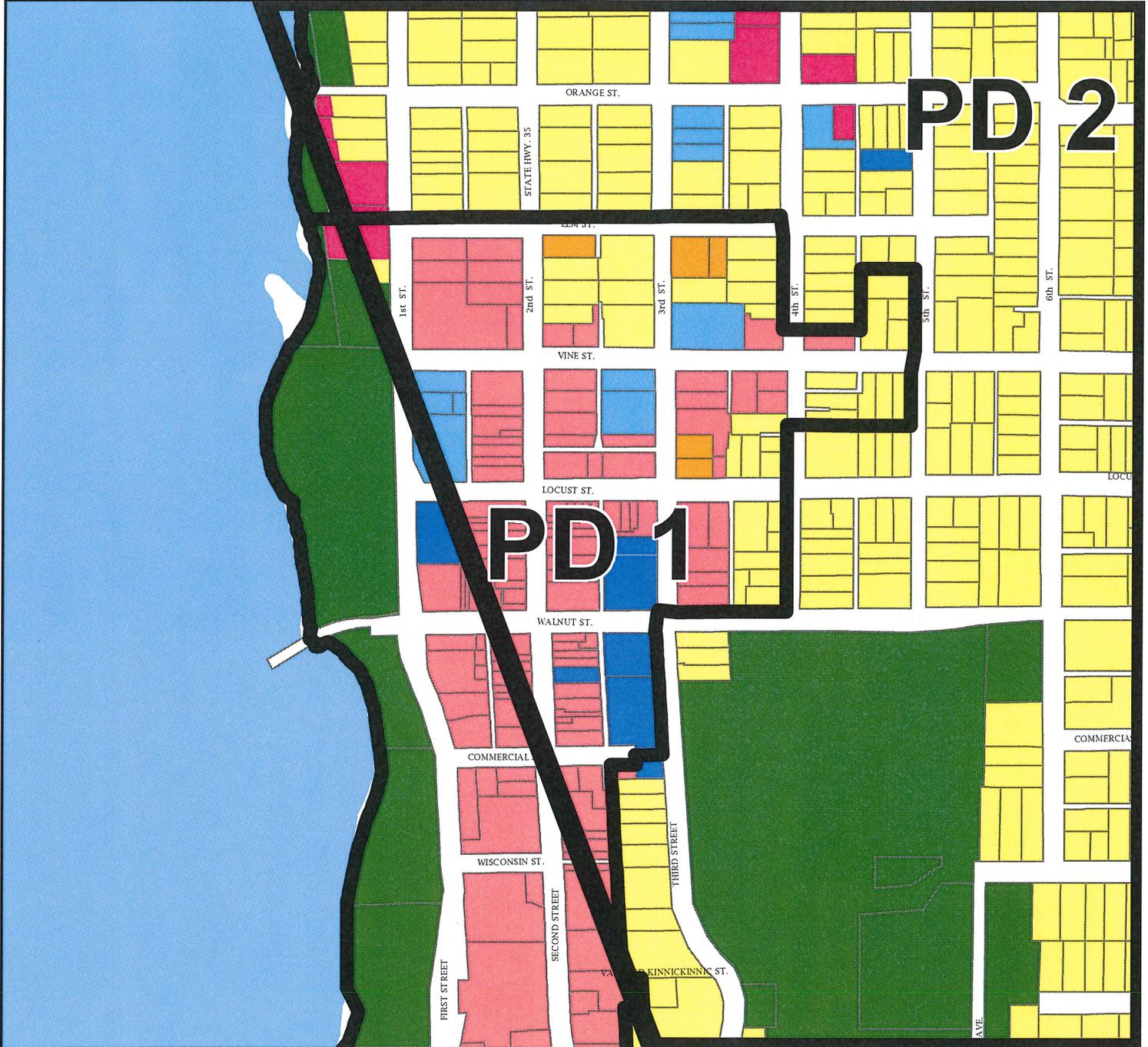
### Planning Districts

 LABEL PLANNING DISTRICT

PD 1	Historic Downtown
PD 2	North Central
PD 3	Central
PD 4	North Side
PD 5	Bluff
PD 6	Carmichael
PD 7	Southeast
PD 8	Industrial

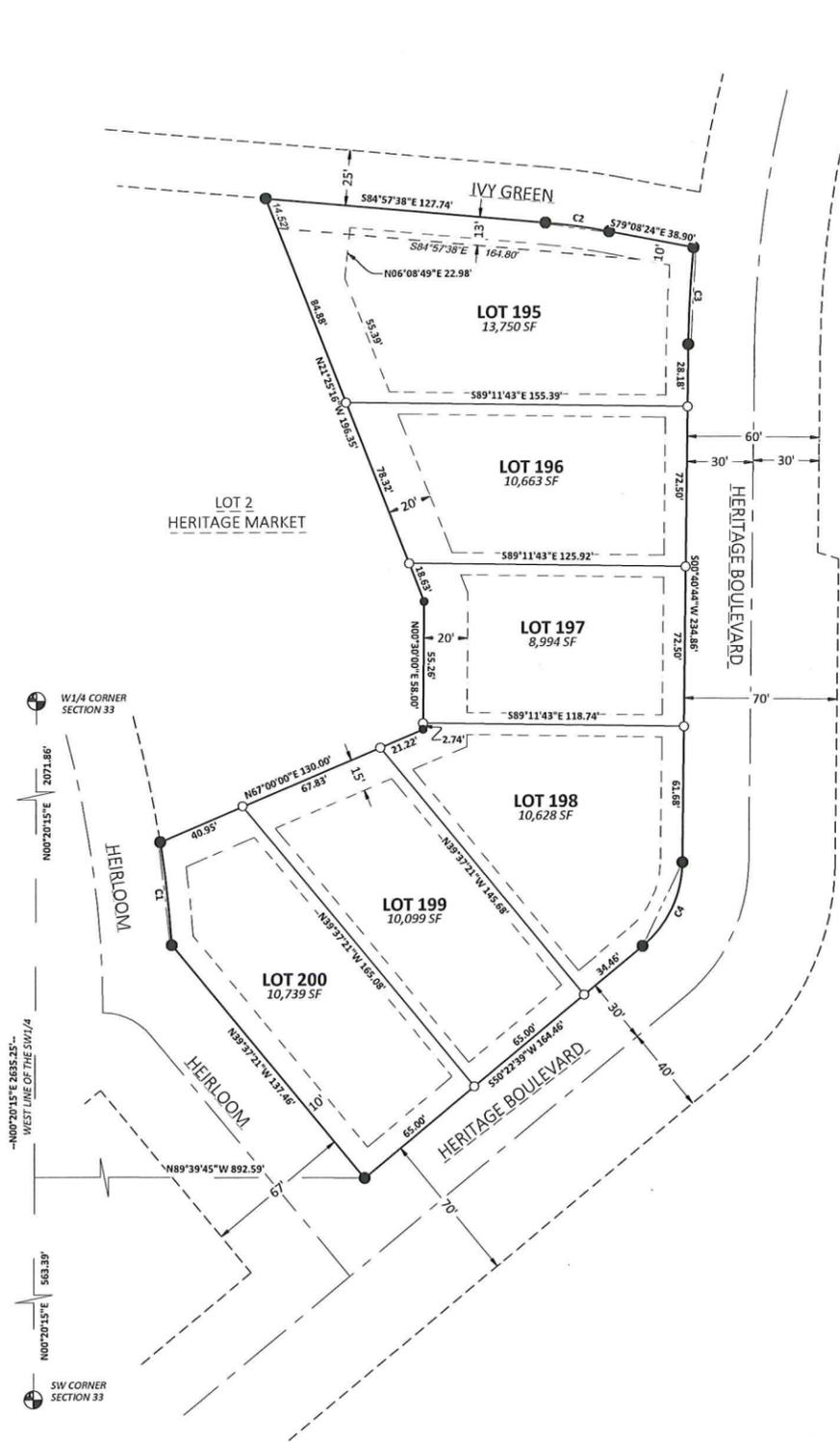
0 600 1,200 2,400

FEET

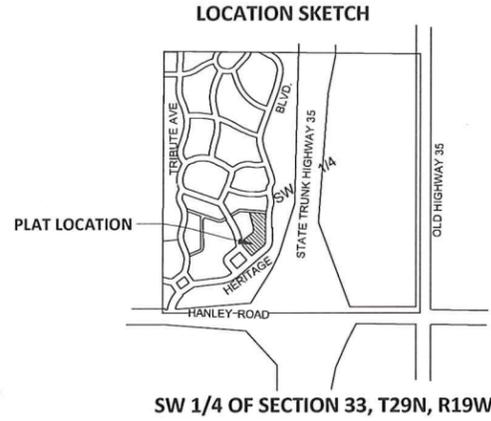
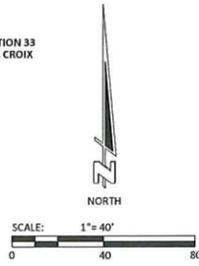


# HERITAGE GREENS THIRD ADDITION

LOCATED IN PART OF THE SW1/4 OF THE SW1/4 OF SECTION 33, T29N, R19W, CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN; BEING A DIVISION OF OUTLOT 6 OF THE PLAT OF HERITAGE MARKET.



THE WEST LINE OF THE SW1/4 OF SECTION 33 BEARS N00°20'15"E BASED ON THE ST. CROIX COUNTY COORDINATE SYSTEM.



### SURVEYOR'S CERTIFICATE

I, Ty R. Dodge, Wisconsin Professional Land Surveyor, hereby certify: that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Hudson, and under the direction of Creative Home Construction Investments, LLC, owner of said land, I have surveyed, divided and mapped HERITAGE GREENS THIRD ADDITION; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this plat is located in part of the Southwest Quarter of the Southwest Quarter of Section 33, Township 29 North, Range 19 West, City of Hudson, St. Croix County, Wisconsin; being a division of Outlot 6 of the plat of HERITAGE MARKET, containing 1.489 acres of land and described as follows:

Outlot 6 of the plat of HERITAGE MARKET.

Dated this 15th day of November, 2016

*Ty Dodge*  
 Ty R. Dodge PLS 2484  
 Auth Consulting & Associates  
 2920 Enloe Street Suite 101  
 Hudson, WI 54016



PARCEL CURVE DATA							
NUMBER	RADIUS LENGTH	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH	ARC LENGTH	TANGENT IN	TANGENT OUT
C1	530.00'	5°05'05"	N6°23'56.5"W	47.02'	47.04'	N3°51'24"W	N8°56'29"W
C2	287.50'	5°49'14"	S82°03'01"E	29.19'	29.21'	S84°57'38"E	S79°08'24"E
C3	530.00'	4°45'35"	S3°03'32.5"W	44.01'	44.03'	S5°26'20"W	S0°40'45"W
C4	50.00'	49°41'53"	S25°31'41.5"W	42.02'	43.37'	S0°40'45"W	S50°22'39"W

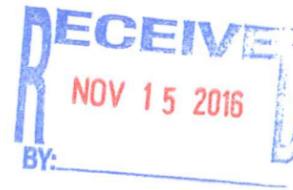
### LEGEND

- FOUND ALUMINUM COUNTY SECTION CORNER MONUMENT
- 
- 
- 
- DRAINAGE AND UTILITY EASEMENT  
 -10' TYPICAL FRONT  
 -5' TYPICAL SIDE SIDE OR AS NOTED  
 -REAR AS SHOWN
- STORM SEWER EASEMENT AS NOTED

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 2016

Department of Administration



Office of the Register of Deeds  
 St. Croix County, Wisconsin  
 Received for Record \_\_\_\_\_, 2016  
 at \_\_\_\_\_ o'clock \_\_\_\_\_ M as document # \_\_\_\_\_ in \_\_\_\_\_  
 Register of Deeds

### CORPORATE OWNER'S CERTIFICATE OF DEDICATION

Creative Home Construction Investments, LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Creative Home Construction Investments, LLC does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: City of Hudson, Department of Administration and St. Croix County Community Development Department.

IN WITNESS WHEREOF, the said Creative Home Construction Investments, LLC has caused these presents to be signed by Nick Hackworthy, its president, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

STATE OF \_\_\_\_\_ )  
 COUNTY OF \_\_\_\_\_ ) Nick Hackworthy- President

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, Nick Hackworthy, President of the above named corporation, to me know to be the person who executed the foregoing instrument, and to me known to be such President of said corporation, and acknowledged that he executed the foregoing instrument as such officer, as the deed of said corporation, by its authority.

Notary Public

My commission expires \_\_\_\_\_.

### CONSENT OF CORPORATE MORTGAGEE

Alliance Bank, Mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedication of the land described on this plat, and does hereby consent to the certificate of Creative Home Construction Investments, LLC.

IN WITNESS WHEREOF, the said Alliance Bank has caused these presents to be signed by Justin Betzold, Vice President, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Justin Betzold,  
 Vice President

STATE OF \_\_\_\_\_ ) SS  
 COUNTY OF \_\_\_\_\_ )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, Justin Betzold, Vice President of the above named corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such Vice President of said corporation and acknowledged that he executed the foregoing instrument as such Vice President, as the deed of said corporation, by its authority.

Notary Public

My commission expires \_\_\_\_\_.

### CITY COUNCIL RESOLUTION

Resolved, that the plat of HERITAGE GREENS THIRD ADDITION, in the City of Hudson, Creative Homes, owner, is hereby approved by the city council.

Rich O'Connor, Mayor \_\_\_\_\_ Date \_\_\_\_\_

I hereby certify that the foregoing is a copy of a resolution adopted by the city council of the City of Hudson.

LeAnne Addy, Clerk \_\_\_\_\_ Date \_\_\_\_\_

### CITY OF HUDSON FINANCIAL OFFICER CERTIFICATE

State of Wisconsin)  
 County of St. Croix)SS

I, Brenda Malinowski, being the duly qualified and acting Financial Officer of the City of Hudson, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of \_\_\_\_\_ affecting the land included on this plat.

Brenda Malinowski \_\_\_\_\_ Date \_\_\_\_\_  
 City Financial Officer

### COUNTY TREASURER'S CERTIFICATE

State of Wisconsin)  
 County of St. Croix)SS

I, Laurie Noble, being the duly elected, qualified and acting treasurer of St. Croix County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of \_\_\_\_\_ affecting the land included on this plat.

Laurie Noble \_\_\_\_\_ Date \_\_\_\_\_  
 County Treasurer

DATE	05/31/16
NAME	
REVISION DESCRIPTION	
Comments	
TRD	

DRAWN BY:	DJZ
CHECKED BY:	
DATE:	03/03/16
DWG FILE:	5261-007PLAT
REF FILE:	
JOB NUMBER:	5261-007

BRANCH OFFICE  
 2920 Enloe Street  
 Suite 101  
 Hudson, WI 54016  
 Tel: 715-381-5277  
 Fax: 715-381-5289  
 hudsonauthconsulting.com

CORPORATE OFFICE  
 406 Technology Drive East  
 Suite A  
 Menomonie, WI 54751  
 Tel: 715-232-8400  
 Fax: 715-232-8462  
 menobauthconsulting.com

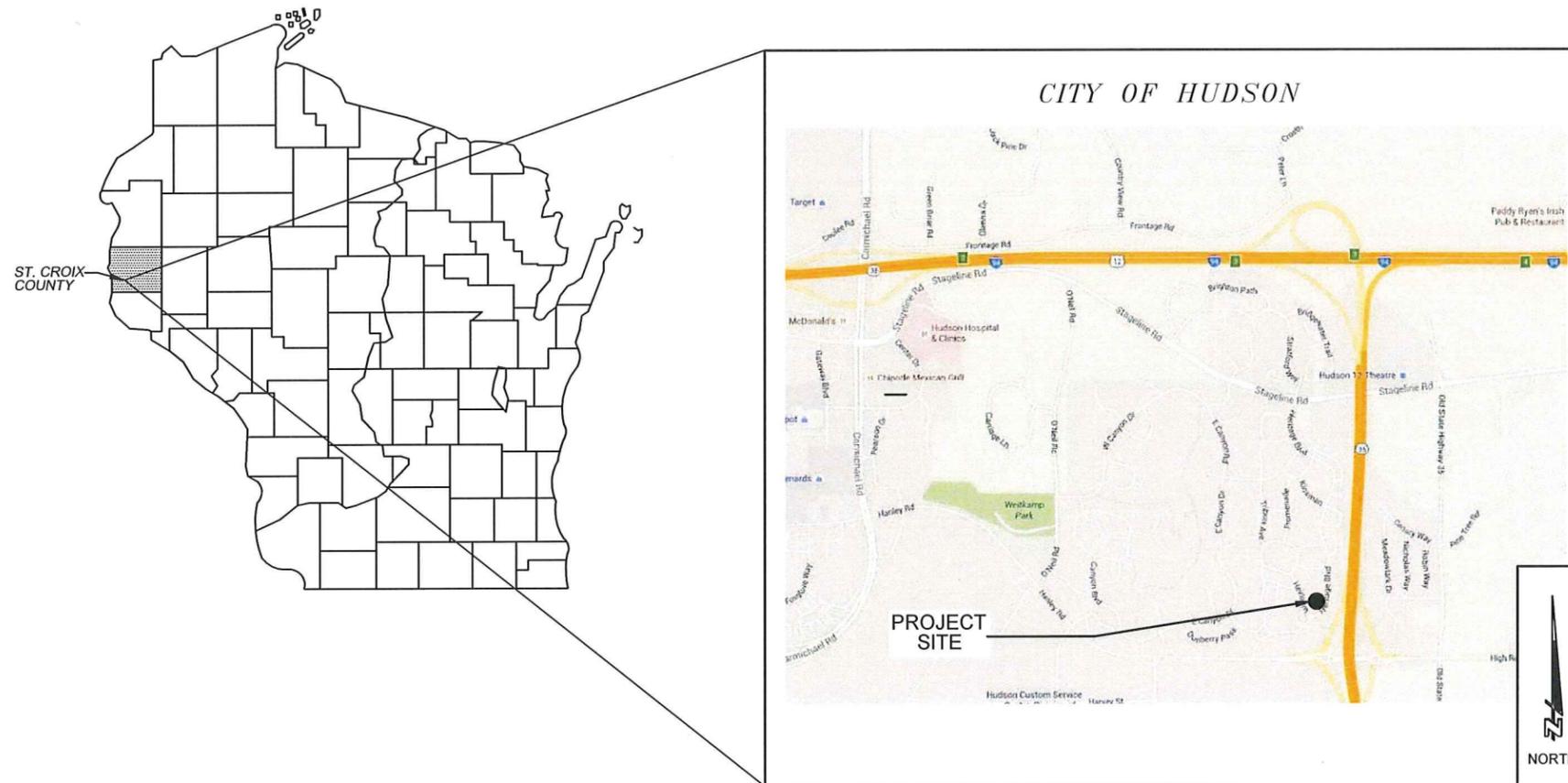
PROJECT: CREATIVE HOMES HERITAGE MARKET OUTLOT 6 ADDITION  
 CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN  
 SHEET NO. 1 OF 1  
 FINAL PLAT

RECEIVED  
NOV 15 2016  
BY:

# HERITAGE GREENS 3RD ADDITION

## CREATIVE HOMES CONSTRUCTION INVESTMENTS, LLC

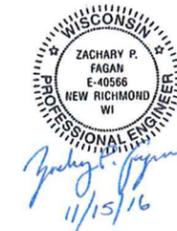
### CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN



LOCATION MAP

N.T.S.

CONTACTS	
DIGGERS HOTLINE	1-800-242-8511
PROJECT ENGINEER/SURVEYOR	AUTH CONSULTING & ASSOCIATES 715-381-5277
CITY OF HUDSON	DENNIS DARNOLD COMMUNITY DVLPMT DIRECTOR 715-386-4776



**CONSTRUCTION NOTES**

1. CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION.
2. CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
3. NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
5. SALVAGED MATERIALS TO BECOME PROPERTY OF THE OWNER.
6. CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ROADWAY.
7. EROSION CONTROL TO BE IN PLACE BEFORE BEGINNING CONSTRUCTION AND CONTINUOUSLY MAINTAINED. CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES AS INDICATED ON THE EROSION CONTROL PLAN.
8. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF HUDSON PUBLIC WORKS DEPARTMENT TECHNICAL SPECIFICATIONS DATED 2014 AND THE CITY OF HUDSON PUBLIC WATER UTILITIES WATER DISTRIBUTION TECHNICAL SPECIFICATIONS DATED FEBRUARY, 2012.
9. CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY STAFF, AS REQUIRED.

**EXISTING SITE CONDITION NOTE**

EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY AUTH CONSULTING & ASSOCIATES IN DECEMBER 2015, SUPPLEMENTAL INFORMATION PROVIDED BY THE CITY OF HUDSON, AND ADDITIONAL INFORMATION FROM ST. CROIX COUNTY LIDAR MAPPING. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

**CONVENTIONAL SYMBOLS**

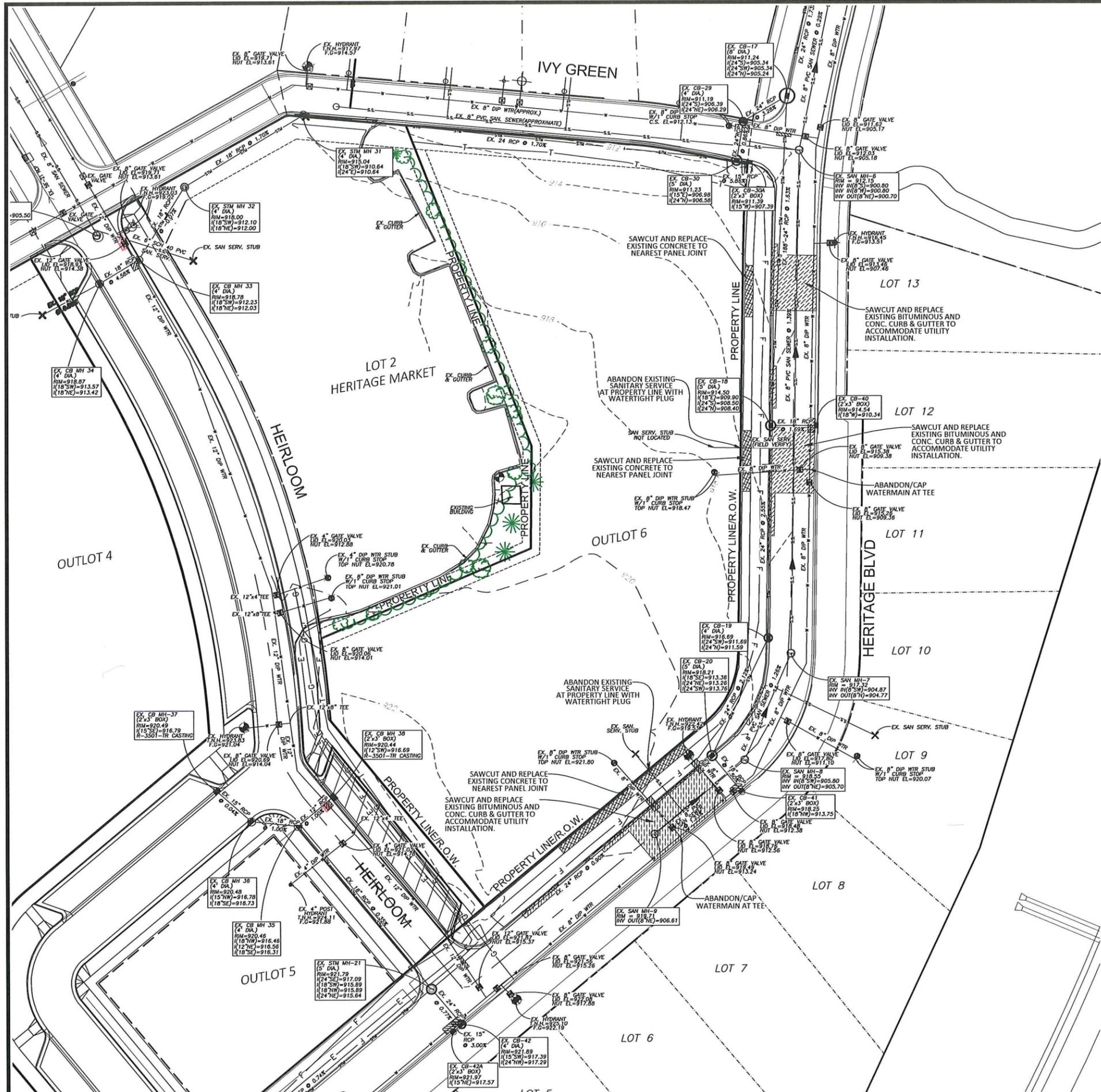
	PROPERTY LINE
	PROPOSED LOTLINE
	PROPOSED EASEMENT
	EXISTING FENCE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	PROPOSED 24" CURB & GUTTER

**SHEET INDEX**

SHEET	SHEET DESCRIPTION
C1.0	TITLE SHEET
C2.0	EXISTING SITE AND DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	EROSION CONTROL PLAN
C6.0	UTILITIES PLAN
C7.0-C7.3	DETAILS

PROJECT:	HERITAGE GREENS 3RD ADDITION CREATIVE HOMES CONSTRUCTION INVESTMENTS, LLC CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN
SHEET NO.:	C1.0
TITLE SHEET	
REVISIONS:	
DATE:	11/15/16
NAME:	ZPF
DESCRIPTION:	RELEASED FOR REVIEW
JOB NUMBER:	5261-008000
REF FILE:	5261-008000
DWG FILE:	5261-C1.0.TITLE
DATE:	11/08/16
CHECKED BY:	ZPF
DRAWN BY:	ZPF/DCK

**Auth-Consulting/associates**  
 SAN Land Surveying & division of A/C/A  
**A/C/A**  
 AUTH CONSULTING & ASSOCIATES  
 400 Technology Drive East  
 Suite A  
 Menomonie, WI 54751  
 Tel: 715-382-4400  
 Fax: 715-381-5277  
 authconsulting.com



### LEGEND

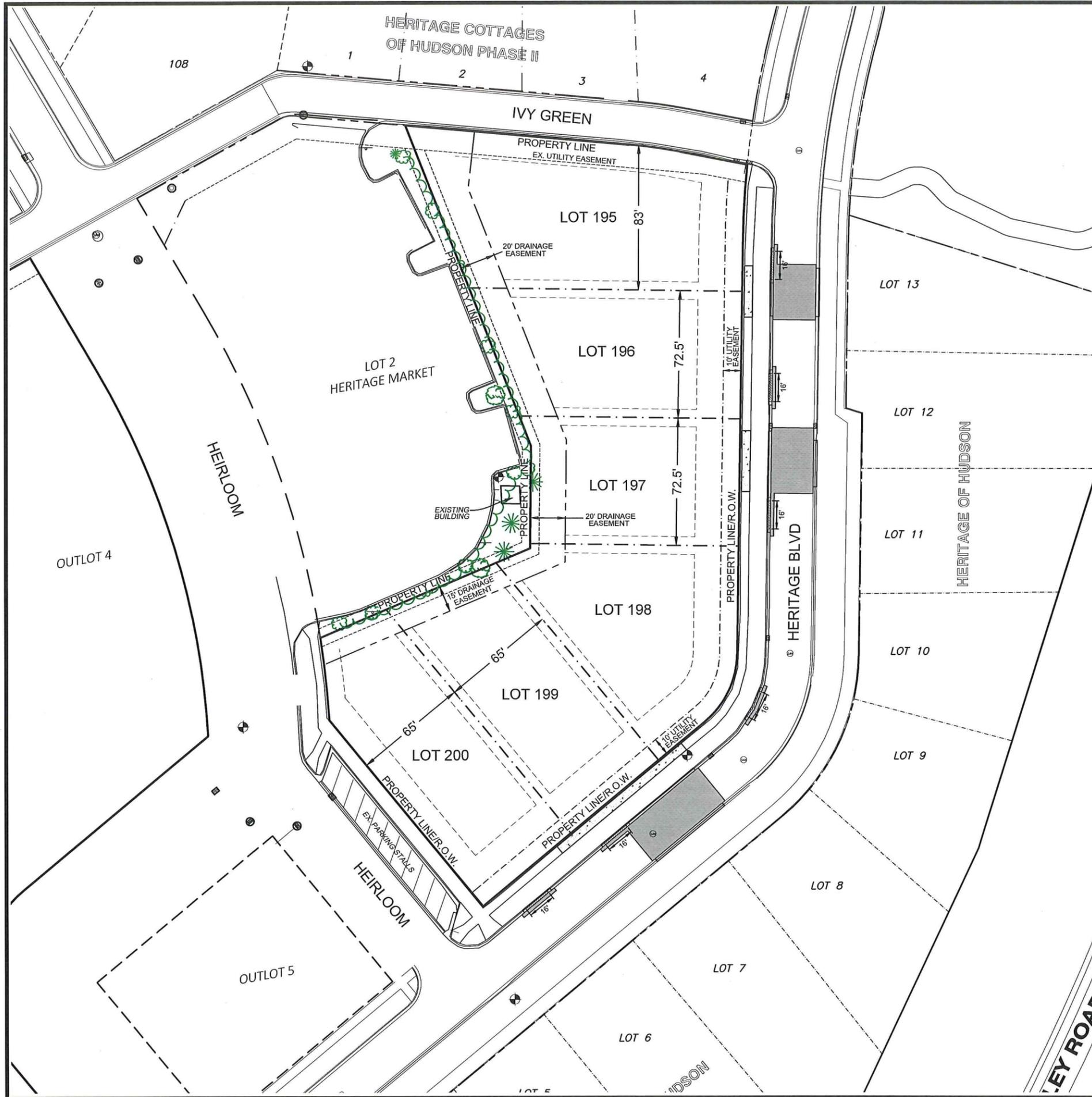
<p>--- 920 --- EXISTING 10FT CONTOURS</p> <p>--- 918 --- EXISTING 2FT CONTOURS</p> <p>===== PROPERTY BOUNDARY LINE</p> <p>---S--- EXISTING CURB</p> <p>---S--- EXISTING STORM SEWER</p> <p>---S--- EXISTING WATERMAIN</p> <p>---S--- EXISTING SANITARY SEWER</p> <p>---E--- EXISTING ELECTRIC LINE</p> <p>---G--- EXISTING GAS LINE</p> <p>---F--- EXISTING FIBER OPTIC LINE</p> <p>---T--- EXISTING TREE LINE</p>	<p>⊕ EXISTING TELEPHONE PEDESTAL</p> <p>⊕ EXISTING STORM INLET</p> <p>⊕ EXISTING SANITARY SEWER MANHOLE</p> <p>⊕ EXISTING HYDRANT AND VALVE</p> <p>⊕ EXISTING WATER SHUT OFF</p> <p>▨ DEMO BITUMINOUS PAVEMENT</p> <p>▨ DEMO CONCRETE</p> <p>⊕ EXISTING TREE</p>
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- ### GENERAL CONSTRUCTION NOTES
1. CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION.
  2. NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
  3. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
  4. SALVAGED MATERIALS TO BECOME PROPERTY OF THE OWNER.
  5. EROSION CONTROL TO BE IN PLACE BEFORE BEGINNING CONSTRUCTION AND CONTINUOUSLY MAINTAINED.
  6. ALL BITUMINOUS AND CONCRETE REMOVAL TO BE DONE WITH SAW-CUTTING TO CREATE A STRAIGHT CLEAN MATCHING SURFACE.

### EXISTING SITE CONDITION NOTE

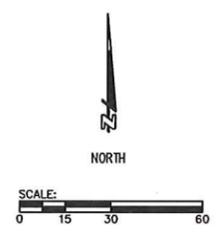
EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY AUTH CONSULTING & ASSOCIATES IN DECEMBER 2015. SUPPLEMENTAL INFORMATION PROVIDED BY THE CITY OF HUDSON, AND ADDITIONAL INFORMATION FROM ST. CROIX COUNTY LIDAR MAPPING. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

DRAWN BY: ZPF	CHECKED BY: ZPF	DATE: 11/08/16	DWG FILE: 5261-C2.0-XSITE	REF FILE: 5261-008ccc
OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	RECORD DRAWING
X	X	X	X	X
<b>BRANCH OFFICE</b> 2820 Balne Street, Suite 101, Hudson, WI 54016 Tel 715-881-3277		<b>CORPORATE OFFICE</b> 408 Technology Drive East, Suite A, Menomonie, WI 54751 Tel 715-232-8499		
<b>Auth-Consulting/associates</b> S&W Land Surveying a division of A/C/a				
<b>PROJECT:</b> HERITAGE GREENS 3RD ADDITION CREATIVE HOMES CONSTRUCTION INVESTMENTS, LLC CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN				
<b>EXISTING SITE AND DEMOLITION PLAN</b>				
SHEET NO. <b>C2.0</b>				RELEASED FOR REVIEW PRELIMINARY ZPF 11/15/16 NAME: _____ DATE: _____



LEGEND	
	PROPERTY LINE
	PROPOSED RIGHT-OF-WAY (R.O.W.)
	PROPOSED LOTLINE
	PROPOSED DRAINAGE AND UTILITY EASEMENT
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED 24" BARRIER CONCRETE CURB AND GUTTER
	PROPOSED 24" SURMOUNTABLE CONCRETE CURB AND GUTTER

- GENERAL NOTES**
1. ALL STREET SIGNAGE SHALL BE IN ACCORDANCE TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
  2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  3. 16' WIDE (TYP.) SURMOUNTABLE DRIVEWAY ENTRANCES REQUIRED WHERE SHOWN.



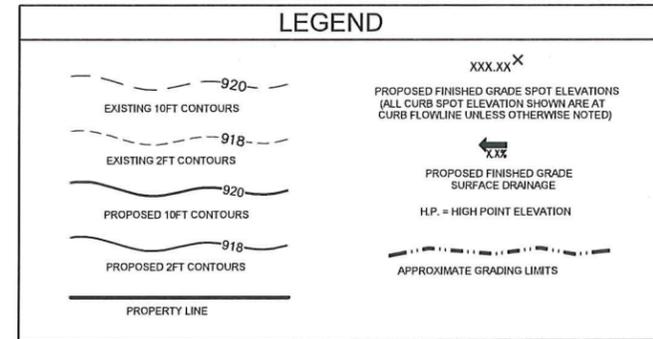
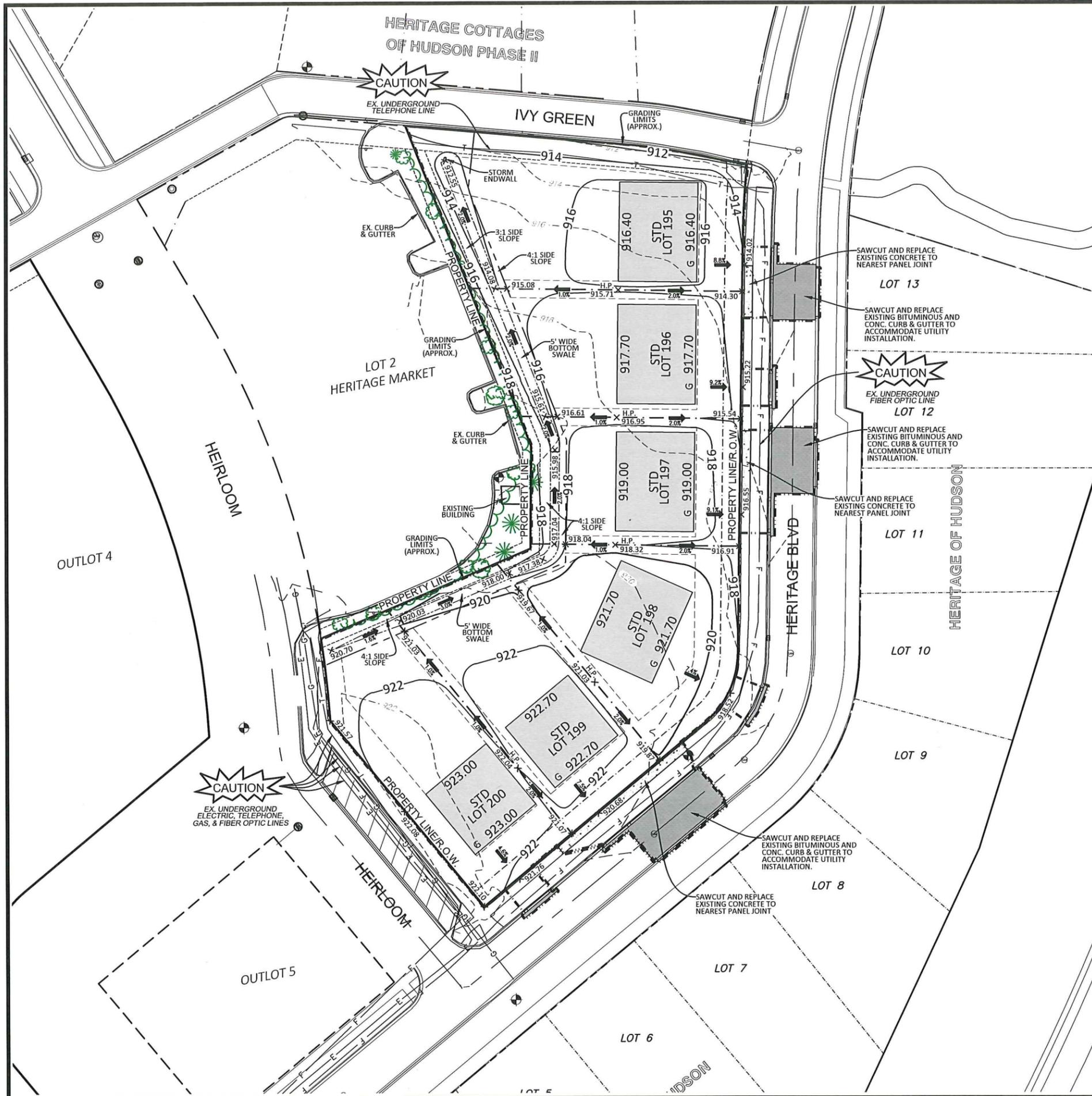
<p>PROJECT: HERITAGE GREENS 3RD ADDITION CREATIVE HOMES CONSTRUCTION INVESTMENTS, LLC CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN</p>		<p>SHEET NO. <b>C3.0</b></p>	
<p>DATE: 11/15/16</p>		<p>NAME:</p>	
<p>RELEASED FOR REVIEW PRELIMINARY</p>		<p>REVISION DESCRIPTION:</p>	
<p>DWG FILE: 5261-C3.0-SITE</p>		<p>JOB NUMBER: 5261-00B</p>	
<p>REF FILE: 5261-00B</p>		<p>RECORD DRAWING</p>	
<p>FOR CONSTRUCTION</p>		<p>DRAWING PHASE:</p>	
<p>BID DOCUMENT</p>		<p>OWNER REVIEW</p>	
<p>AGENCY REVIEW</p>		<p>CHECKED BY: ZPF</p>	
<p>DATE: 11/08/16</p>		<p>DRAWN BY: ZPF</p>	

<p>HERITAGE GREENS 3RD ADDITION CREATIVE HOMES CONSTRUCTION INVESTMENTS, LLC CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN</p>	<p>Auth-Consulting/associates S&amp;E Land Surveying &amp; division of A/C/A</p>
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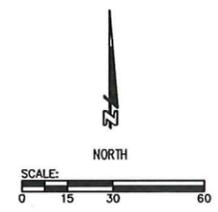
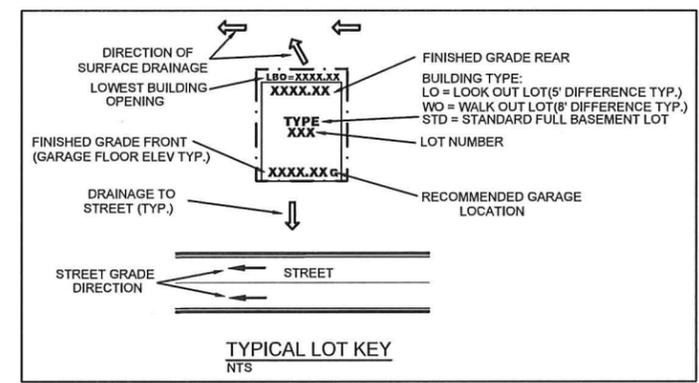
  

<p>BRANCH OFFICE 2820 Balise Street Suite 101 Hudson, WI 54016 Tel 715-981-3277</p>	<p>CORPORATE OFFICE 405 Technology Drive East Suite A Menomonie, WI 54751 Tel 715-232-9999 authconsulting.com</p>
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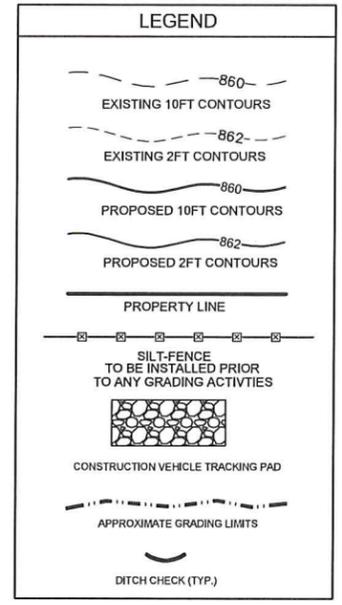
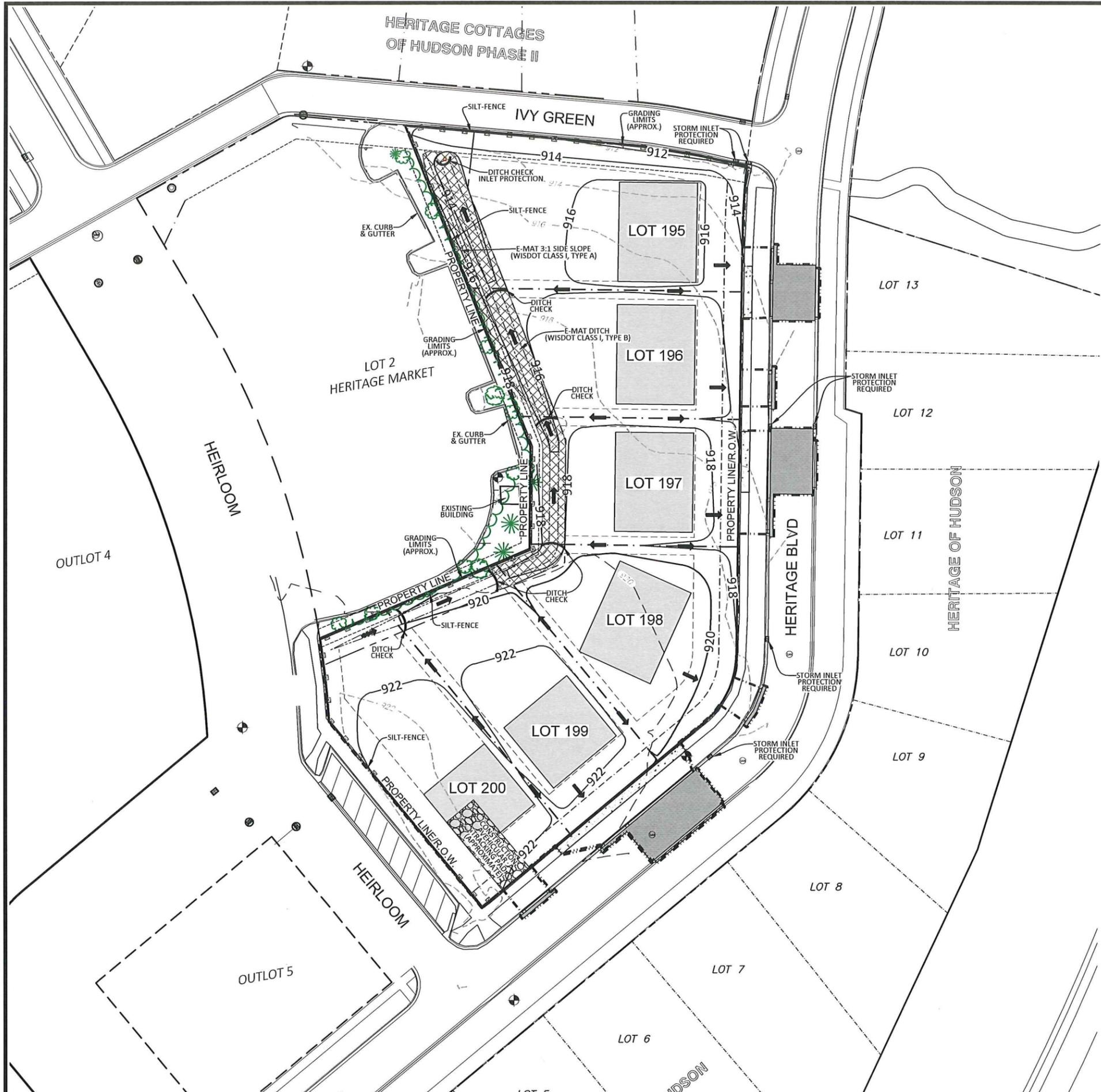


### GRADING NOTES

1. CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITIES COMMENCING.
2. CONTRACTOR TO COORDINATE WITH SMALL UTILITIES ALL REQUIRED UTILITY RELOCATION TO AVOID CONFLICTS WITH PROPOSED GRADING.
3. CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL, AND BUILDING PAD AREAS.
4. ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
5. ALL GRADES AND ELEVATIONS SHOWN ARE TO FINISHED GRADES, UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
7. ALL EXCESS & UNSUITABLE MATERIALS TO BE REMOVED FROM THE SITE BY SITE CONTRACTOR AS REQUIRED.
8. NO TOPSOIL OR WASTE MATERIALS TO BE PLACED BENEATH EXISTING INFILTRATION AREA. ALL EXISTING SOILS INFILTRATION CHARACTERISTICS SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES BASED ON THE EXISTING AND PROPOSED ELEVATIONS PROVIDED ON THE PLANS. ANY GEOTECHNICAL INVESTIGATIONS PROVIDED BY THE OWNER APPLY ONLY TO THOSE LOCATIONS THAT DATA WAS COLLECTED, AND MAY NOT BE INDICATIVE OF CONDITIONS ELSEWHERE ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR COLLECTING ANY ADDITIONAL GEOTECHNICAL OR SURVEY DATA HE DEEMS NECESSARY TO COMPLETE AN ACCURATE ESTIMATE OF EARTHWORK QUANTITIES.
10. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BALANCING SITE MATERIALS. IF ONSITE EXCAVATION AND BORROW OPERATIONS DO NOT PROVIDE ENOUGH SUITABLE MATERIAL FOR FILL AREAS, THE CONTRACTOR SHALL COORDINATE AND PAY FOR EXCAVATION, TRANSPORT AND PLACEMENT OF IMPORTED MATERIAL MEETING THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. IF EXCAVATION RESULTS IN EXCESS MATERIALS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LOADING, TRANSPORT AND OFFSITE DISPOSAL OF EXCESS MATERIALS.
11. LOT GRADING COMPLETED DURING PREVIOUS MASS GRADING OPERATIONS. FINAL LOT GRADING TO BE COMPLETED DURING FINAL HOME CONSTRUCTION.



PROJECT: <b>HERITAGE GREENS 3RD ADDITION</b> <b>CREATIVE HOMES CONSTRUCTION INVESTMENTS, LLC</b> CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN	DRAWING PHASE: OWNER REVIEW AGENCY REVIEW BID DOCUMENT FOR CONSTRUCTION RECORD DRAWING	DRAWN BY: ZPF CHECKED BY: ZPF DATE: 11/08/16 DWG FILE: 5261-C4.0-GRADING REF FILE: 5261-00800 JOB NUMBER: 5261-008	RELEASED FOR REVIEW: ZPF PRELIMINARY REVISION DESCRIPTION: NAME: DATE:	 <b>Auth-Consulting/associates</b> <small>Soil and Surveying a division of A/C/a</small>
<b>SHEET NO. C4.0</b>				



- EROSION CONTROL NOTES**
- EROSION CONTROL DEVICES SHALL BE IN PLACE BEFORE BEGINNING ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ACTIVITIES AND CONTINUOUSLY MAINTAINED.
  - INSTALL CONSTRUCTION VEHICULAR TRACKING PAD AT ENTRANCE/EXIT OF PROJECT SITE. SEE DETAIL SHEETS FOR INSTALLATION REQUIREMENTS.
  - INSTALL SILT FENCE AS SHOWN ON PLAN OR AS DIRECTED BY THE ENGINEER. SEE DETAIL SHEETS FOR SILT FENCE INSTALLATION. SILT FENCE SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 628 EROSION CONTROL OF THE WISCONSIN DOT STANDARD SPECIFICATIONS
  - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED IN ANY PARTICULAR AREA.
  - ALL DISTURBED SLOPES IN EXCESS OF 4:1 SHALL BE SEEDED AND PROTECTED WITH EROSION MAT(WISDOT CLASS I TYPE A) OR SHALL BE SODDED AND STAKED OR HYDROSEEDDED AS AN ALTERNATIVE.
  - TEMPORARY SEED SHOULD BE APPLIED, IF CONSTRUCTION EXTENDS PAST SEPTEMBER 1ST, OF ANNUAL RYEGRASS AND OATS AT THE RATE OF 5 POUNDS PER 1000 S.F. OF AREA AND LEFT OVER WINTER. PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING. IF TEMPORARY SEEDING CANNOT BE COMPLETED BEFORE WINTER FREEZE UP THEN ALL DISTURBED AREAS SHALL BE MULCHED AT A RATE OF 120 POUNDS PER 100 SQUARE FT AND PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING.
  - ALL EROSION CONTROL MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL RESTORATION ON SITE HAS BEEN ESTABLISHED (A MINIMUM OF 70% VEGETATION TYP.).
  - ANY SOIL STOCKPILES WHICH ARE LEFT MORE THAN 7 DAYS MUST BE PROTECTED BYSEEDING AND MULCHING, EROSION MAT, SILT FENCING, COVERING OR OTHER APPROVED METHODS. THIS DOES NOT INCLUDE FILL OR TOPSOIL PILES THAT ARE IN ACTIVE USE.
  - SITE WATERING SHALL TAKE PLACE AS CONSTRUCTION AND WEATHER CONDITIONS WARRANT TO MINIMIZE DUST POLLUTION FROM LEAVING THE SITE.
  - SITE MONITORING OF EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS SHALL BE COMPLETED AT THE INTERVALS SPECIFIED UNTIL THE SITE IS STABILIZED. SITE MONITORING SHALL OCCUR AT LEAST WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24 HOUR PERIOD. MONITORING RECORDS SHALL BE KEPT AND CONTAIN, AT A MINIMUM, THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED AND A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES.
  - OFF-SITE SEDIMENT DEPOSITION RESULTING FROM THE FAILURE OF AN EROSION OR SEDIMENT CONTROL PRACTICE SHALL BE CLEANED UP WITHIN 24 HOURS. OFF-SITE SEDIMENT DEPOSITION RESULTING FROM CONSTRUCTION ACTIVITY, THAT CREATES A NUISANCE, SHALL BE CLEANED UP BY THE END OF THE WORK DAY. IF THE FAILURE OF EROSION OR SEDIMENT CONTROL PRACTICES RESULT IN AN IMMEDIATE THREAT OF SEDIMENT ENTERING PUBLIC SEWERS OR THE WATERS OF THE STATE, PROCEDURES SHALL BE IMPLEMENTED IMMEDIATELY TO REPAIR OR REPLACE THE PRACTICES. SCRAPING OF THE STREET SHALL BE COMPLETED WITHIN 4 HOURS AND STREET SWEEPING WITHIN 24 HOURS.

DRAWING PHASE:		DRAWN BY: ZPF	DATE: 11/08/16	DWG FILE: 5261-C5.0-EROS	RELEASED FOR REVIEW: PRELIMINARY	11/15/16
OWNER REVIEW	CHECKED BY: ZPF	AGENCY REVIEW		FOR CONSTRUCTION	REF FILE: 5261-008000	
				RECORD DRAWING	JOB NUMBER: 5261-008	

FINANCE OFFICE  
 2821 Baber Street  
 Suite 101  
 Hudson, WI 54016  
 Tel: 715-381-0277

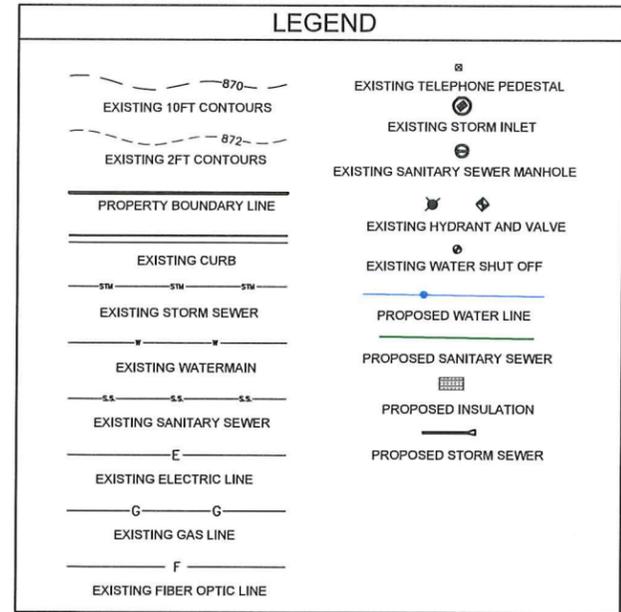
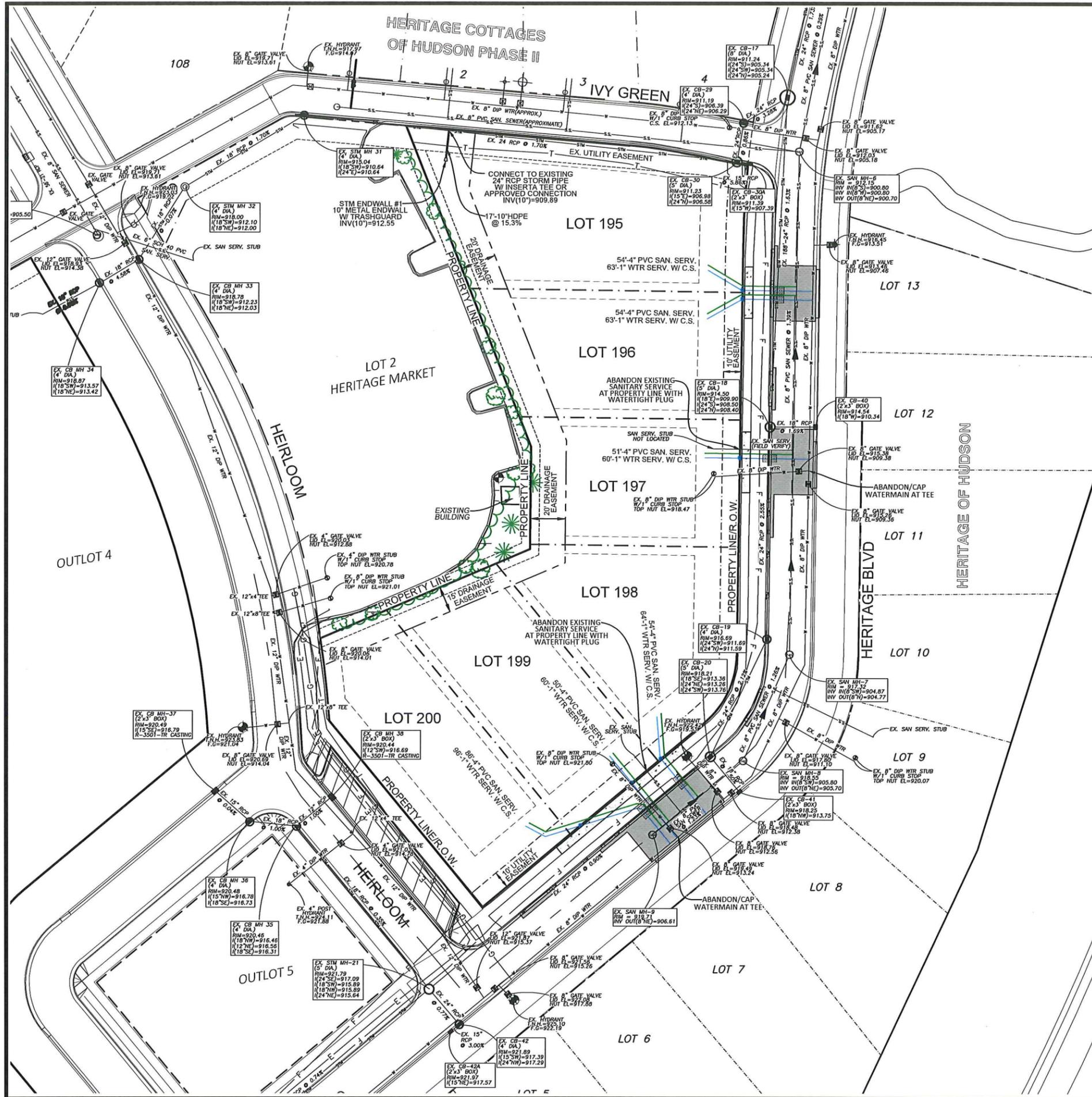
CORPORATE OFFICE  
 400 Technology Drive East  
 Suite A  
 Menomonie, WI 54751  
 Tel: 715-252-8490  
 aulconsulting.com

**A.C.a**  
**Auth-Consulting/associates**  
 S&L Land Surveying a division of A.C.a

PROJECT: HERITAGE GREENS 3RD ADDITION  
 CREATIVE HOMES CONSTRUCTION INVESTMENTS, LLC  
 CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN

SHEET NO. **C5.0**

**EROSION CONTROL PLAN**

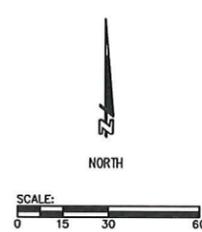


- #### GENERAL UTILITY NOTES
- CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.
  - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, IF NECESSARY.
  - CONTRACTOR SHALL OBTAIN PERMISSION/PERMIT FROM THE CITY OF HUDSON PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY STAFF, AS REQUIRED.
  - ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF HUDSON PUBLIC WORKS DEPARTMENT TECHNICAL SPECIFICATIONS DATED 2014 AND THE CITY OF HUDSON PUBLIC WATER UTILITY WATER DISTRIBUTION TECHNICAL SPECIFICATIONS DATED FEBRUARY 2012.

- #### SANITARY SEWER NOTES
- SANITARY SEWER SERVICES SHALL BE 4" SCHEDULE 40 PVC.
  - SANITARY SEWER LATERALS SHALL BE INSTALLED WITH A GREEN 18 GAGE TRACER WIRE, PER SPS 382 REQUIREMENTS.
  - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING SANITARY SEWER FOR THE PROPOSED SANITARY SERVICE CONNECTIONS. CONTRACTOR TO FIELD VERIFY EXISTING SANITARY SEWER INVERT ELEVATION.

- #### WATERMAIN NOTES
- WATER SERVICE LATERALS SHALL BE 1" TYPE K COPPER PIPE.
  - MAINTAIN 7.5" MINIMUM COVER OVER WATER SERVICE LATERALS.
  - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE EXISTING WATER MAIN FOR THE PROPOSED WATERMAIN SERVICE CONNECTION.
  - MAINTAIN A MINIMUM OF 18" OF VERTICAL SEPARATION DISTANCE FROM SANITARY & STORM SEWER & SANITARY SERVICES PER SPS 382 REQUIREMENTS.
  - INSULATION REQUIRED OVER WATER LINES WHERE STORM SEWER CROSSES. 4"x8"x4" RIGID EXTRUDED POLYSTYRENE BOARD CLOSED CELL (DOW CHEMICAL) OR APPROVED EQUAL.

- #### STORM SEWER NOTES
- STORM SEWER PIPING SHALL BE HDPE DUAL WALL SMOOTH INTERIOR WITH WATERTIGHT JOINTS OR APPROVED EQUIVALENT.
  - PIPE LENGTHS INCLUDE APRON ENDWALLS.
  - ALL EXTERIOR STORM SEWER PIPE SHALL BE INSTALLED WITH A BROWN 18 GAGE TRACER WIRE, WHEN APPLICABLE PER SPS 382 REQUIREMENTS.
  - PROPOSED 10" HDPE STORM CONNECTION TO EXISTING 24" RCP SHALL BE MADE WITH "INSERTA TEE" OR APPROVED EQUAL.



<b>DRAWING PHASE:</b>	DRAWN BY: ZPF	CHECKED BY: ZPF	DATE: 11/06/16	DWG FILE: 5261-C6.0-UTILITY	REF FILE: 5261-00800	JOB NUMBER: 5261-008	ZPF: 11/15/16
<b>OWNER REVIEW:</b>	<b>AGENCY REVIEW:</b>	<b>BID DOCUMENT:</b>	<b>FOR CONSTRUCTION:</b>	<b>RECORD DRAWING:</b>	<b>REVISION DESCRIPTION:</b>	<b>NAME:</b>	<b>DATE:</b>
X							

**BRANCH OFFICE:**  
2020 Bales Street  
Suite 101  
Hudson, WI 54008  
Tel 715-561-3077

**CORPORATE OFFICE:**  
400 Technology Drive East  
Suite A  
Menomonie, WI 54751  
Tel 715-252-4490  
Tel 715-361-3077  
aucticonsulting.com

**A.C.a**  
Auth-Consulting/associates  
S&L Land Surveying a division of A.C.a

**PROJECT:**  
HERITAGE GREENS 3RD ADDITION  
CREATIVE HOMES CONSTRUCTION INVESTMENTS, LLC  
CITY OF HUDSON, ST. CROIX COUNTY, WISCONSIN

**UTILITIES PLAN**

**SHEET NO. C6.0**